

GENERAL SITE NOTES:

ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF MASCOUTAH AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION CODES, STANDARDS AND SPECIFICATIONS.

ANY CITY OF MASCOUTAH INFRASTRUCTURE (ABOVE OR BELOW GRADE, VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE CITY.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY.

ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF ALL SIGNS SHALL BE GOVERNED BY LOCAL CODES.

THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL EXISTING UTILITIES LOCATED AND PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE (3) DAYS PRIOR TO ANY SITE WORK FOR IDENTIFICATION OF EXISTING UTILITIES.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE PROJECT SITE BEFORE BEGINNING CONSTRUCTION.

HORIZONTAL CONTROL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER OF DISCREPANCIES.

ALL DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

ALL PARKING LOT CURB RADII ARE DIMENSIONED TO THE BACK OF CURB.

Surveyor:



QUINCY DUNN, P.E.
3610 41ST STREET
ST. LOUIS, MO 63118
PH: 314.295.2028
E: QDUNN@checkpointsurveying.com

Civil Engineer:



REYLING DESIGN & CONSULTING

4516 Boardwalk | Smithton, IL | 62285
reylingdc@gmail.com

Illinois Firm License: 184 007395-0002
IL Certificate of Authority: 056722-4-4



LICENSE EXPIRES - 11.30.2025
DATE SIGNED - 09.15.2023

ENGINEER OF RECORD:
Todd J. Reyling, P.E.
Illinois PE 062.064054

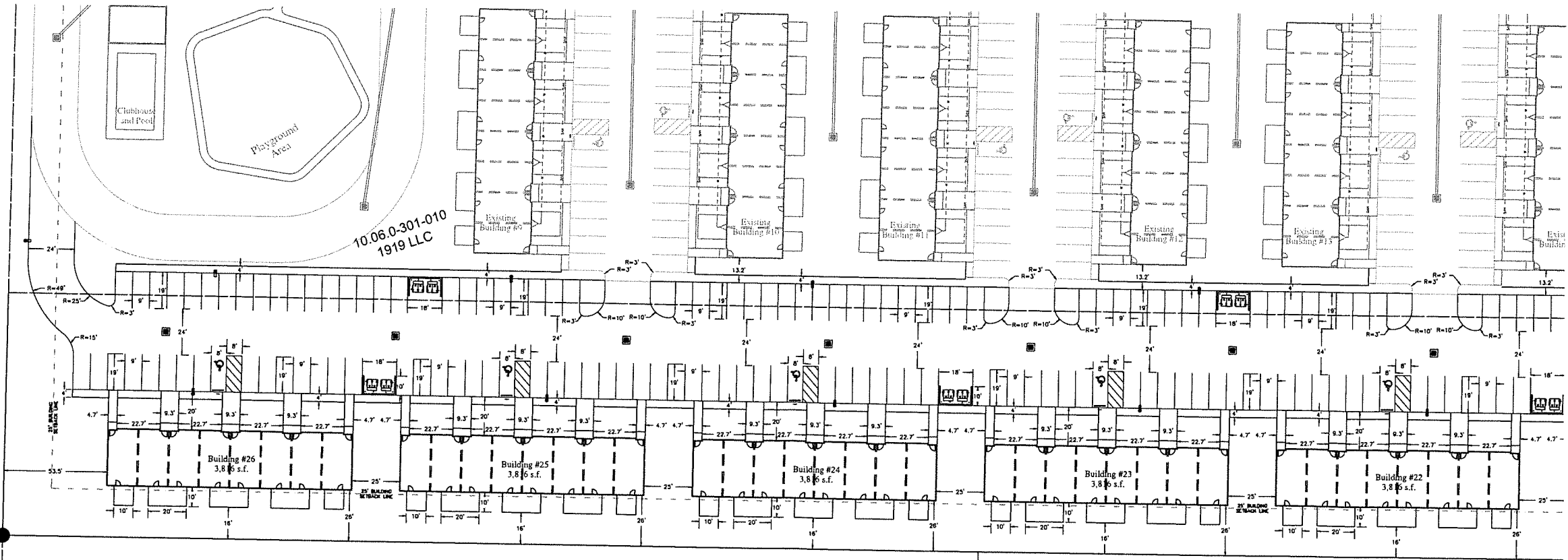
ISSUED / REVISED	DATE
ISSUED FOR REVIEW	09.15.2023

PROJECT NUMBER: 19-156

New Ground Up Building:
Falcon Place - Phase 2

Beller Drive
Mascoctah, Illinois 62258
St. Clair County

Site Plan
Horizontal
Control
West Half
C203



10.06.0-301-008
HAWKINS POINT
TOWNHOMES LLC

10.06.0-301-010
1919 LLC

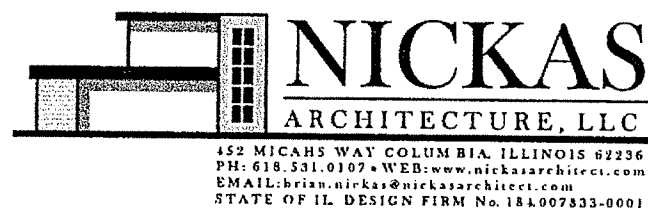
PART OF PARCEL
10-06.0-301-009
PLAZA 23 LLC

24" CMP
CATCH BASIN
TOP EL.=442.83
THROAT EL.=442.46
INV. EL.=433.22

F

114

FALCON PLACE STREET T.B.D. MASCOUTAH, ILLINOIS 62258



OWNER:

HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

GENERAL NOTES:

1. PRIOR TO THE BEGINNING OF WORK, THE GENERAL CONTRACTOR SHALL REVIEW ALL ELEVATIONS, RESTRICTIONS AND SITE CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER OF ANY DRAWING ERRORS OR INCONSISTENCIES.
2. DO NOT SCALE DRAWINGS FOLLOW WRITTEN DIMENSIONS ONLY. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL BUILDING PERMITS, WATER TAP FEES, SEWER TAP FEES AND ETC...
4. CHANGES TO THIS WORK ARE ONLY AUTHORIZED IF IN WRITING FROM THE OWNER. THE DESIGN DRAWINGS CONTEMPLATE A FINISHED PIECE OF WORK OF SUCH CHARACTER AND QUALITY AS IS DESCRIBED IN AN IS REASONABLY INFERRABLE FROM THEM; AND THE CONTRACTOR, RECOGNIZING THE IMPOSSIBILITY OF PRODUCING DRAWINGS AND SPECIFICATIONS WITH PERFECT ACCURACY, AGREES THAT HIS SUBMITTED BID FOR THE WORK HERE UNDER INCLUDES SUFFICIENT MONEY ALLOWANCE TO MAKE HIS WORK COMPLETE AND OPERABLE, AND IN COMPLIANCE WITH GOOD PRACTICE AND THE ORDINANCES, CODES AND REGULATIONS OF ALL BODIES OR PERSONS HAVING GOVERNMENTAL AUTHORITY OVER IT.

NOTE:

THIS SET OF ARCHITECTURAL DESIGN DRAWINGS DEPICTS ONLY THE DESIGN INTENT OF THE OWNER(S). CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE CODES. DESIGN AND CONSTRUCTION OF ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL ENGINEERING TO BE BY OTHERS.

CODE BLOCK

TWO STORY - 2 UNIT TOWNHOMES (FALCON PLACE)
COMPLEX FOR: HAYDEN DEVELOPMENT
STREET ADDRESS T.B.D.
MASCOUTAH, ILLINOIS 62258

2003 INTERNATIONAL RESIDENTIAL CODE - Observed for Design Process

Use Group: R-2 (RESIDENTIAL)

Construction Type: VB
Sprinkler System, Required: NO, Not Provided

PROJECT DATA:

Building Area

Gross "R-Z" RESIDENTIAL (3,815 S.F. Per Floor = 7,630 S.F. Total)

AREA CALCULATIONS:

R Use Group, Type VB Construction Allowable S.F. = 7,000 S.F. Per Floor

Total S.F. Per Floor: 3,815 < 7,000 / Passes

Height 2 stories = allowable 2 stories = OK

Occupant Loads Calculated as:

Residential (200 gross per person)

2 Bedroom TYP. Unit 909 per unit / 200 = 5 persons per unit

Hourly Ratings: (Tables 601, 602)

Exterior Walls - Loadbearing = 0 Hour (Exception - exterior walls against balcony/stair must be 1-hour assembly)

Exterior Walls - Nonloadbearing = 0 Hour (Exception - exterior walls against balcony/stair must be 1-hour assembly)

Fire Walls = 1 Hour separation between units

Fire Enclosure of Exits = 1 hour - External balcony and stairs

Shafts = 0 Hour

Exit Access Corridors = 0 Hour

Smoke Barriers = 1 hour in truss space to underside of roof sheathing

Interior Nonloadbearing = 0 Hour

Interior Loadbearing - 2 or more floors = 0 Hour

Floor / Ceiling Construction including beams = 0 Hour

Roof Construction = 0 Hour

ALL APPLICABLE CODES

Building Code: 2003 International Residential Code

Mechanical Code: 2003 International Mechanical Code

Plumbing Code: Illinois State Plumbing Code (2004 IPC)

Electrical Code: 2005 National Electrical Code

Energy Codes: 2003 Fuel Gas Code

2012 Energy Conservation Code

1997 Illinois Accessibility Code

SHEET INDEX:

COVER SHEET

- G.100 GENERAL NOTES & SPECIFICATIONS
- A.100 FOUNDATION PLAN
- A.200 OVERALL FLOOR PLANS
- A.201L FIRST FLOOR PLAN - LEFT SIDE
- A.201R FIRST FLOOR PLAN - RIGHT SIDE
- A.202L SECOND FLOOR PLAN - LEFT SIDE
- A.202R SECOND FLOOR PLAN - RIGHT SIDE
- A.203 ROOF PLAN
- A.300 EXTERIOR ELEVATIONS
- A.301 ENLARGED EXTERIOR ELEVATIONS
- A.302 ENLARGED REAR EXTERIOR ELEVATION
- A.400 WALL SECTIONS
- A.401 STAIR SECTION & DOOR SCHEDULE

PERMIT DRAWINGS:
OCTOBER 18, 2021

- ### STRUCTURAL PLACING: COORDINATE FPM REQUIREMENTS & STANDARDS WITH A STRUCTURAL ENGINEER

- [illegible]

- LEGAL REPRESENTATION

- _____

- | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|-----|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 | 101 | 102 | 103 | 104 | 105 | 106 | 107 | 108 | 109 | 110 | 111 | 112 | 113 | 114 | 115 | 116 | 117 | 118 | 119 | 120 | 121 | 122 | 123 | 124 | 125 | 126 | 127 | 128 | 129 | 130 | 131 | 132 | 133 | 134 | 135 | 136 | 137 | 138 | 139 | 140 | 141 | 142 | 143 | 144 | 145 | 146 | 147 | 148 | 149 | 150 | 151 | 152 | 153 | 154 | 155 | 156 | 157 | 158 | 159 | 160 | 161 | 162 | 163 | 164 | 165 | 166 | 167 | 168 | 169 | 170 | 171 | 172 | 173 | 174 | 175 | 176 | 177 | 178 | 179 | 180 | 181 | 182 | 183 | 184 | 185 | 186 | 187 | 188 | 189 | 190 | 191 | 192 | 193 | 194 | 195 | 196 | 197 | 198 | 199 | 200 | 201 | 202 | 203 | 204 | 205 | 206 | 207 | 208 | 209 | 210 | 211 | 212 | 213 | 214 | 215 | 216 | 217 | 218 | 219 | 220 | 221 | 222 | 223 | 224 | 225 | 226 | 227 | 228 | 229 | 230 | 231 | 232 | 233 | 234 | 235 | 236 | 237 | 238 | 239 | 240 | 241 | 242 | 243 | 244 | 245 | 246 | 247 | 248 | 249 | 250 | 251 | 252 | 253 | 254 | 255 | 256 | 257 | 258 | 259 | 260 | 261 | 262 | 263 | 264 | 265 | 266 | 267 | 268 | 269 | 270 | 271 | 272 | 273 | 274 | 275 | 276 | 277 | 278 | 279 | 280 | 281 | 282 | 283 | 284 | 285 | 286 | 287 | 288 | 289 | 290 | 291 | 292 | 293 | 294 | 295 | 296 | 297 | 298 | 299 | 300 | 301 | 302 | 303 | 304 | 305 | 306 | 307 | 308 | 309 | 310 | 311 | 312 | 313 | 314 | 315 | 316 | 317 | 318 | 319 | 320 | 321 | 322 | 323 | 324 | 325 | 326 | 327 | 328 | 329 | 330 | 331 | 332 | 333 | 334 | 335 | 336 | 337 | 338 | 339 | 340 | 341 | 342 | 343 | 344 | 345 | 346 | 347 | 348 | 349 | 350 | 351 | 352 | 353 | 354 | 355 | 356 | 357 | 358 | 359 | 360 | 361 | 362 | 363 | 364 | 365 | 366 | 367 | 368 | 369 | 370 | 371 | 372 | 373 | 374 | 375 | 376 | 377 | 378 | 379 | 380 | 381 | 382 | 383 | 384 | 385 | 386 | 387 | 388 | 389 | 390 | 391 | 392 | 393 | 394 | 395 | 396 | 397 | 398 | 399 | 400 | 401 | 402 | 403 | 404 | 405 | 406 | 407 | 408 | 409 | 410 | 411 | 412 | 413 | 414 | 415 | 416 | 417 | 418 | 419 | 420 | 421 | 422 | 423 | 424 | 425 | 426 | 427 | 428 | 429 | 430 | 431 | 432 | 433 | 434 | 435 | 436 | 437 | 438 | 439 | 440 | 441 | 442 | 443 | 444 | 445 | 446 | 447 | 448 | 449 | 450 | 451 | 452 | 453 | 454 | 455 | 456 | 457 | 458 | 459 | 460 | 461 | 462 | 463 | 464 | 465 | 466 |
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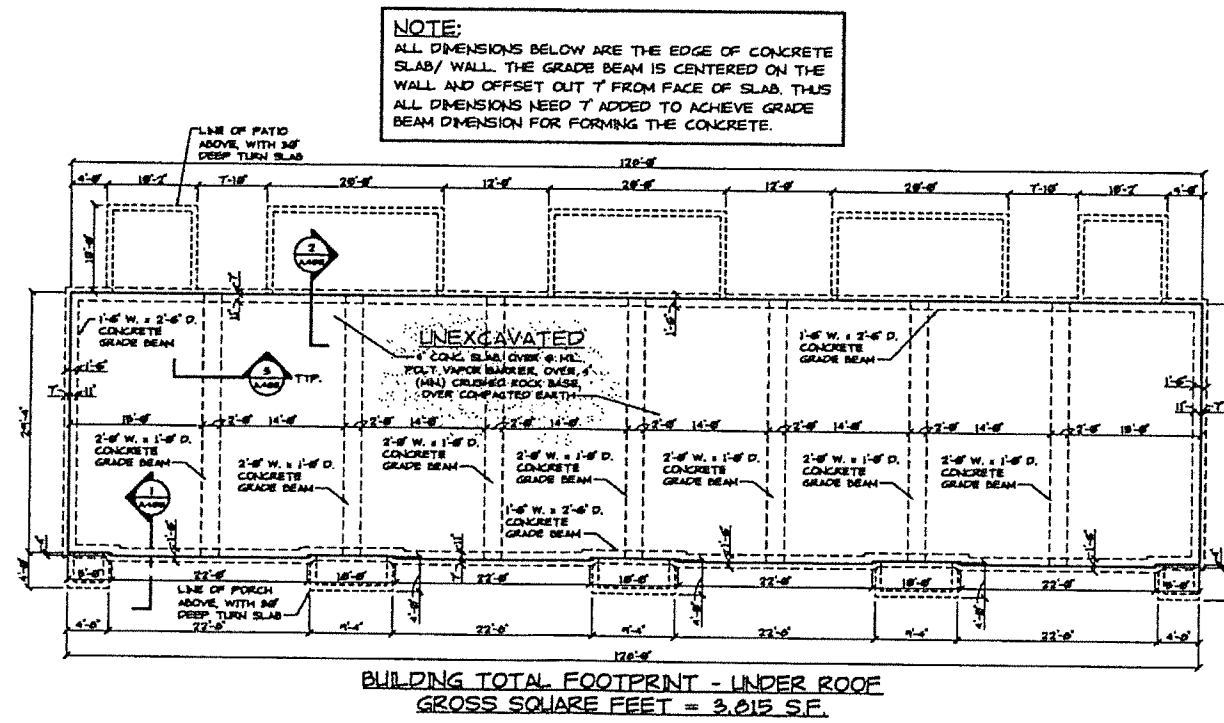
- © 2006 The Authors
Journal compilation © 2006 Blackwell Publishing Ltd

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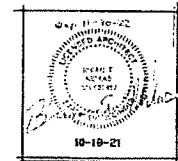
- TYPICAL DOOR FRAMING**
SCALE: 1/4" = 1'-0"
NOTE: INSTALL SOLID WOOD BLOODING

G. 100

PROJECT NUMBER: 2019-22



1 FOUNDATION PLAN
A100 SCALE: 1/8" = 1'-0"



REVISIONS:

NO. _____ DATE: _____

CITY COMMENTS

NO. _____ DATE: _____

DESCRIPTION:

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

ARCHITECT:  **NICKAS**
ARCHITECTURE, LLC

100 NICKAS WAY, COLUMBIA, ILLINOIS 65201
PH: 314.741.2458 FAX: 314.741.0111
WWW.NICKASARCHITECT.COM
STATE OF ILL. DESIGN FIRM NO. 109497-511-2001

PROJECT INFO:

FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

SHEET TITLE:

FOUNDATION
PLAN

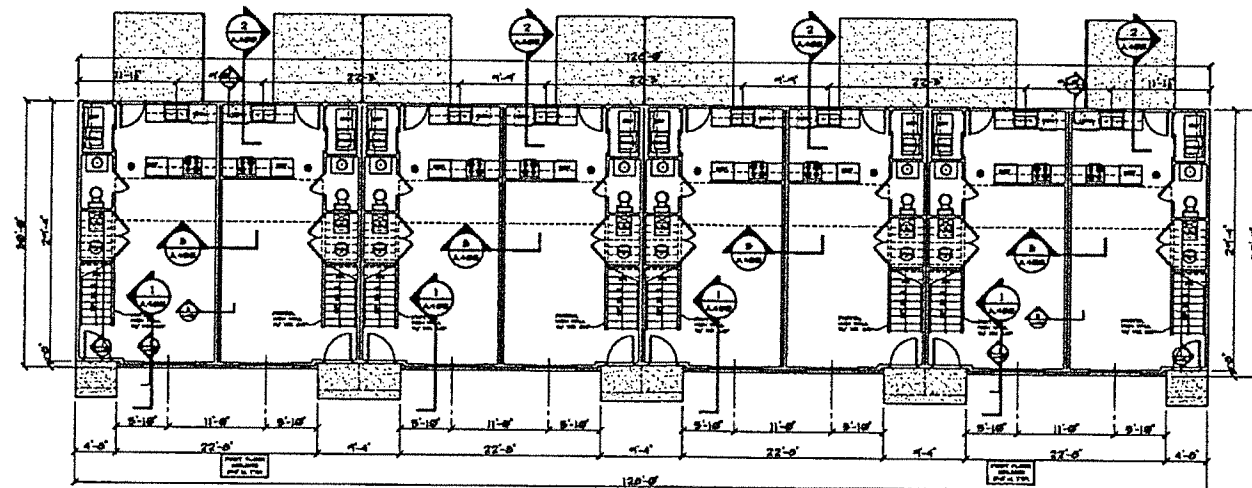
DATE:
OCT. 18, 2021

SHEET NUMBER:

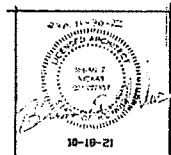
A.100

[illegible]

2 OVERALL SECOND FLOOR PLAN
A.200 SCALE: 1/8" = 1'-0"
(SEE SHEET A.202 FOR ENLARGED SECOND FLOOR PLAN IN DETAIL)



1 OVERALL FIRST FLOOR PLAN
A.200 SCALE: 1/8" = 1'-0"
(SEE SHEET A.201 FOR ENLARGED
FIRST FLOOR PLAN IN DETAIL)



NO.	DATE:	DESCRIPTION:	CITY COMMENTS
NO.	DATE:	DESCRIPTION:	

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

ARCHITECT.



NICKAS
ARCHITECTURE, LLC

151 MICHELE WAY, COLONIA, NEW JERSEY 08235
PH: 908.731.4811 • WEB: www.nickasarchitect.com
E-MAIL: info@nickasarchitect.com
STATE OF ILL. DESIGN FIRM NO.: 143-031400-000

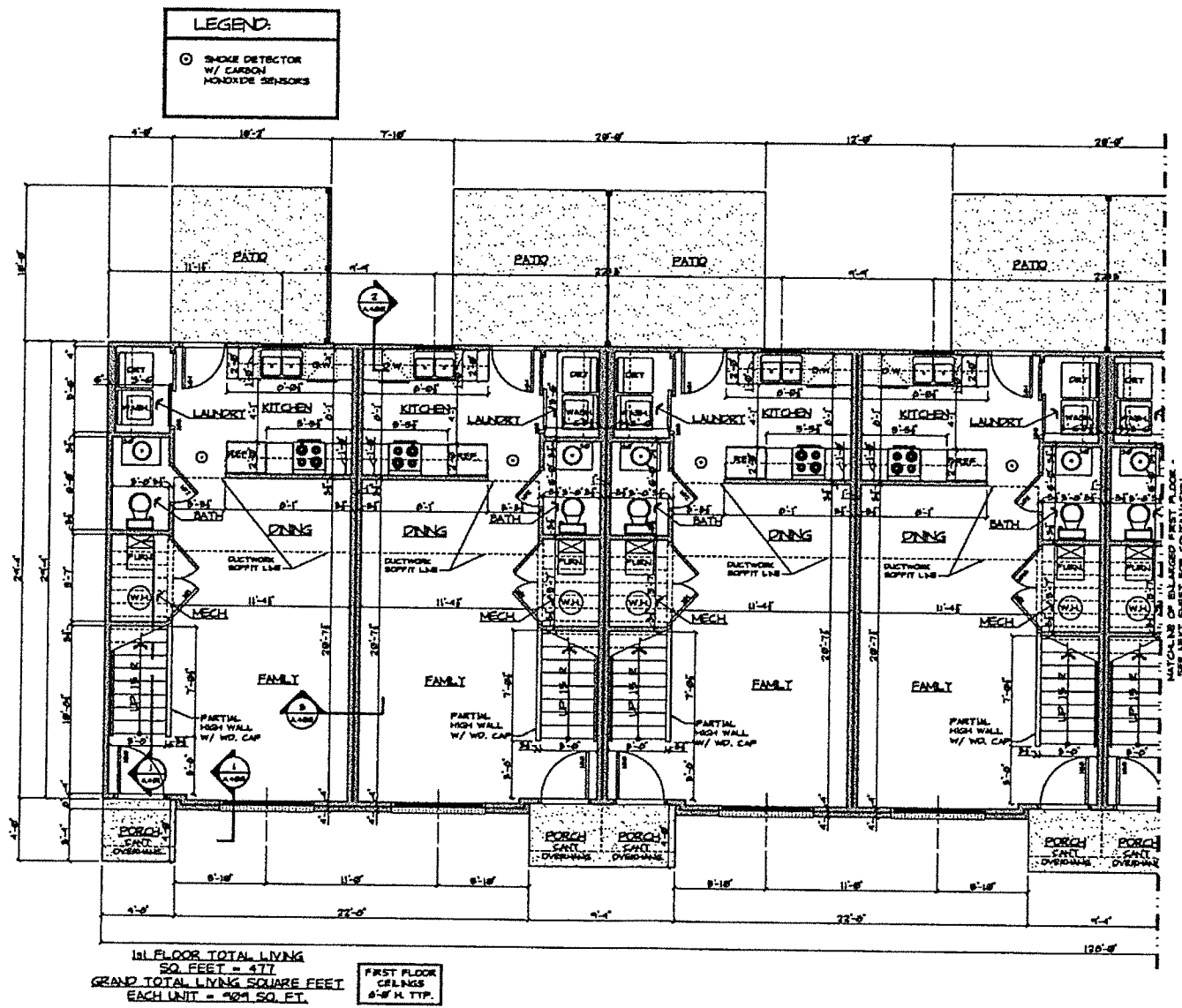
PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

OVERALL
FLOOR PLANS

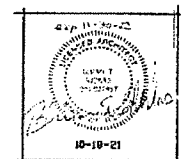
DATE:
OCT. 18, 2021

SHEET NUMBER:
A.200

PROJECT NUMBER: 2019-22



1 ENLARGED FIRST FLOOR PLAN - LEFT SIDE
A.201 SCALE: 1/4" = 1'-0"



REVISIONS:	
NO.	DATE:
DESCRIPTION:	
CITY COMMENTS:	
NO.	DATE:
DESCRIPTION:	

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

ARCHITECT:
NICKAS
ARCHITECTURE, LLC
111 N. NICHOLS AVE. SUITE 100
ST. LOUIS, MO 63101
STATE OF ILL. LICENSED ARCHITECT NO. 021-123456789

PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

SHEET TITLE:

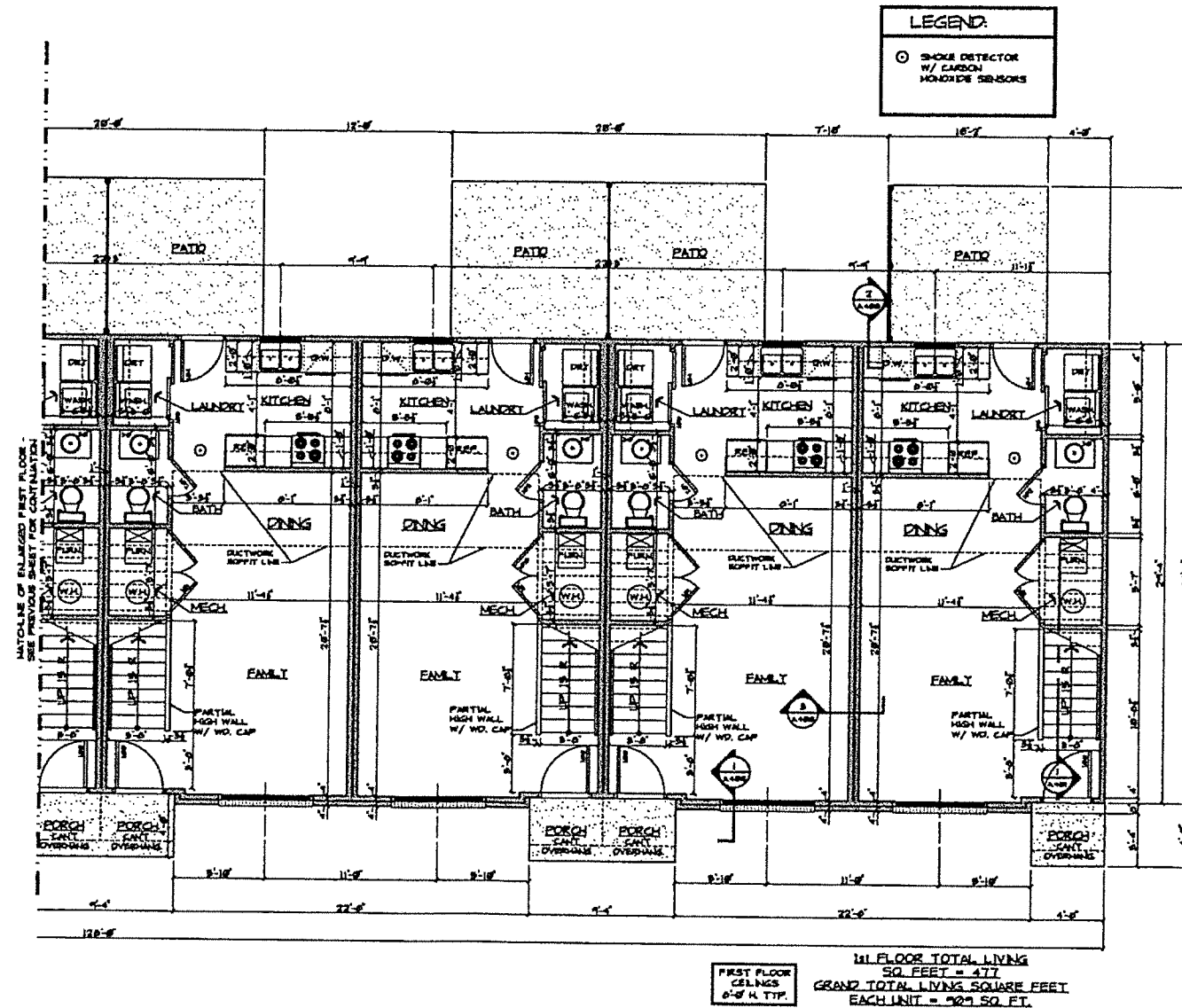
ENLARGED
FIRST
FLOOR PLAN

DATE:
OCT. 18, 2021

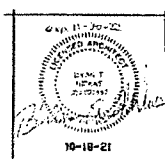
SHEET NUMBER:

A.201L

PROJECT NUMBER: 2019-22



1 ENLARGED FIRST FLOOR PLAN - RIGHT SIDE
A.201 SCALE 1/4" = 1'-0"



REVISIONS:
NO. DATE:
DESCRIPTION:
CITY COMMENTS
NO. DATE:
DESCRIPTION:

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

ARCHITECT:
NICKAS
ARCHITECTURE, LLC
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

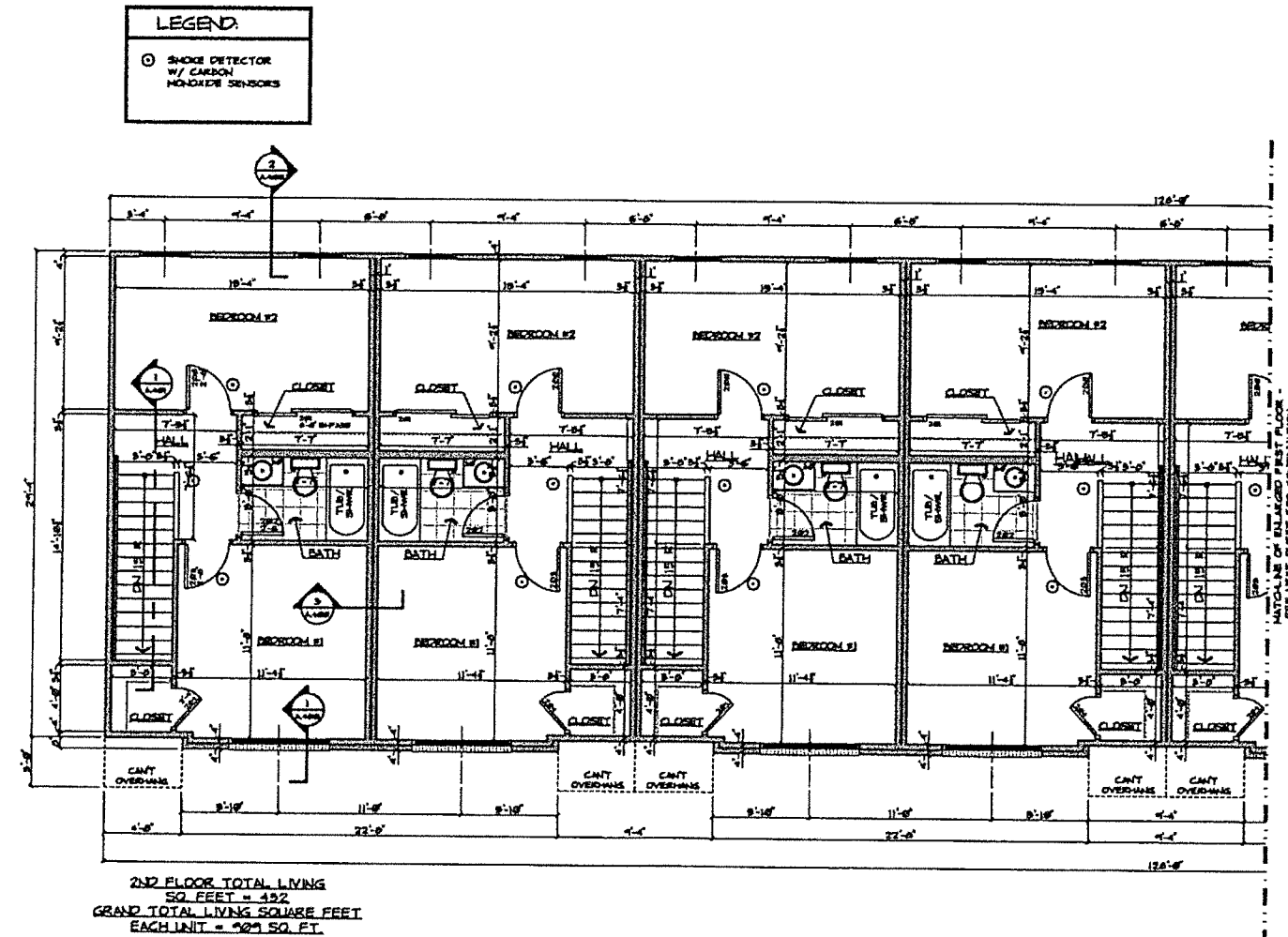
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ENLARGED
FIRST
FLOOR PLAN

DATE:
OCT. 18, 2021

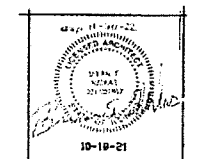
SHEET NUMBER:

A.201R

PROJECT NUMBER: 2019-22



1 ENLARGED SECOND FLOOR PLAN - LEFT SIDE
 A.202L SCALE: 1/4" = 1'-0"



REVISIONS:	
NO.	DATE:
DESCRIPTION:	
CITY COMMENTS:	
NO.	DATE:
DESCRIPTION:	

OWNER:
 HAYDEN DEVELOPMENT
 138 LINCOLN PLACE CT. #102
 BELLEVILLE, ILLINOIS 62221
 618.277.5050

ARCHITECT:
NICKAS
 ARCHITECTURE, LLC
 100 NORTH STATE STREET, SUITE 200
 ST. LOUIS, MISSOURI 63101
 (314) 241-1111

PROJECT INFO:
 FALCON
 PLACE
 MASCOUTAH,
 ILLINOIS 62258

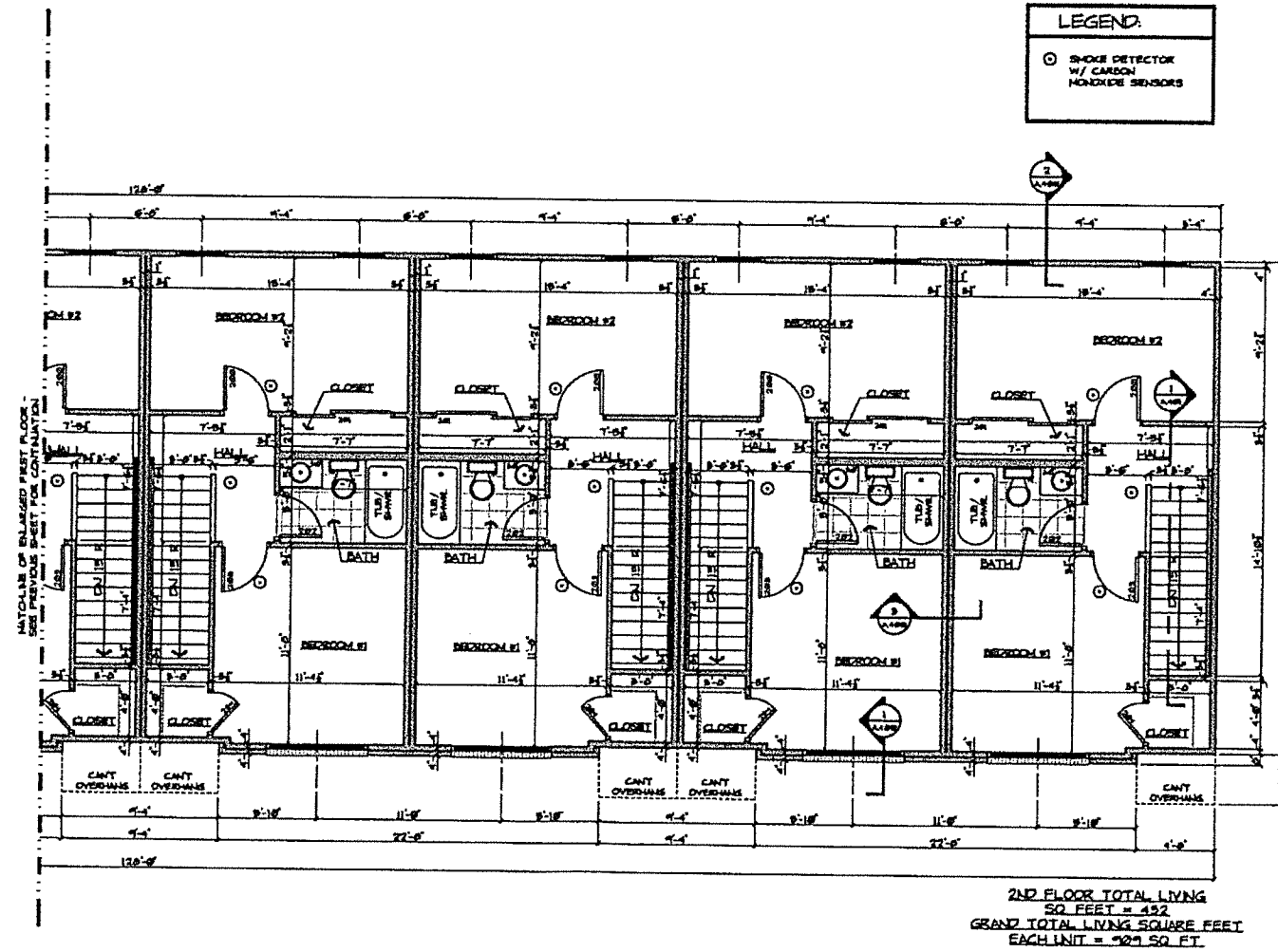
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 SECOND
 FLOOR PLAN

DATE:
 OCT. 18, 2021

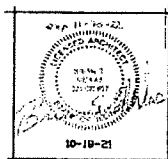
SHEET NUMBER:

A.202L

PROJECT NUMBER: 2019-22



1 ENLARGED SECOND FLOOR PLAN - RIGHT SIDE
A.202 SCALE: 1/4" = 1'-0"



REVISIONS:		
NO.	DATE	DESCRIPTION

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

ARCHITECT:
NICKAS
ARCHITECTURE, LLC
101 N. CENTRAL AVE. SUITE 200
SPRINGFIELD, ILLINOIS 62761
STATE OF ILL. DESIGN FIRM #12142731

PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

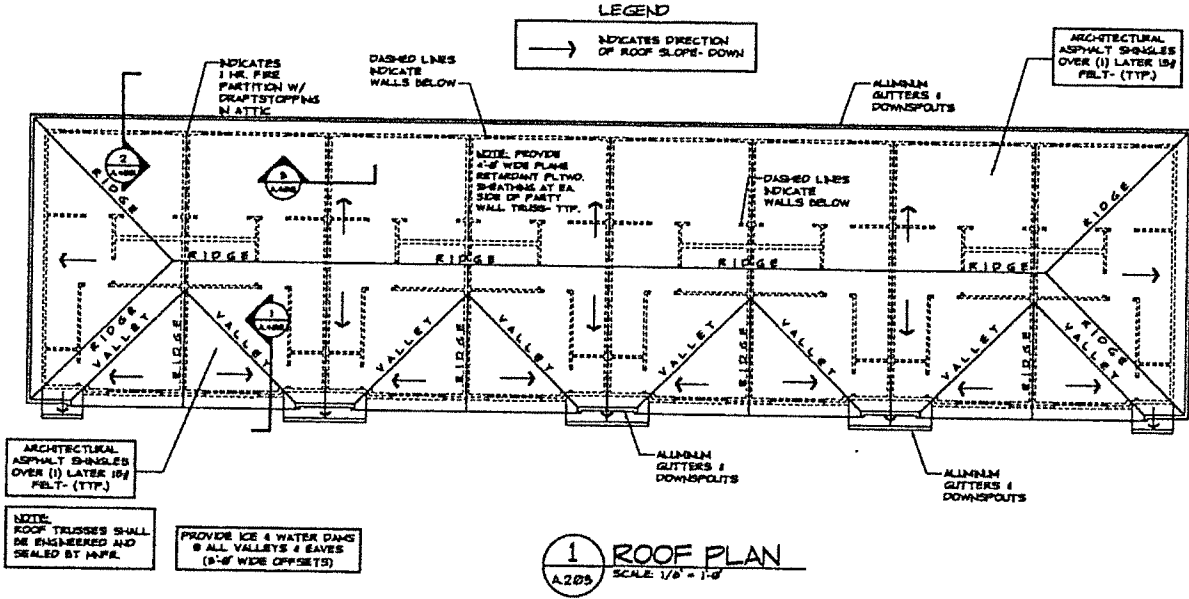
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ENLARGED
SECOND
FLOOR PLAN

DATE:
OCT. 18, 2021

SHEET NUMBER:

A.202R

PROJECT NUMBER: 2019-22



REVISIONS:	
NO.	DATE:
DESCRIPTION:	
CITY COMMENTS:	
NO.	DATE:
DESCRIPTION:	

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

ARCHITECT:
NICKAS
ARCHITECTURE, LLC
141 N. NICHOLS WAY, CHANDLER, ILLINOIS 60015
TEL: 630.411.1111 FAX: 630.411.1112
STATE OF ILL. LICENSE #1011111111

PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

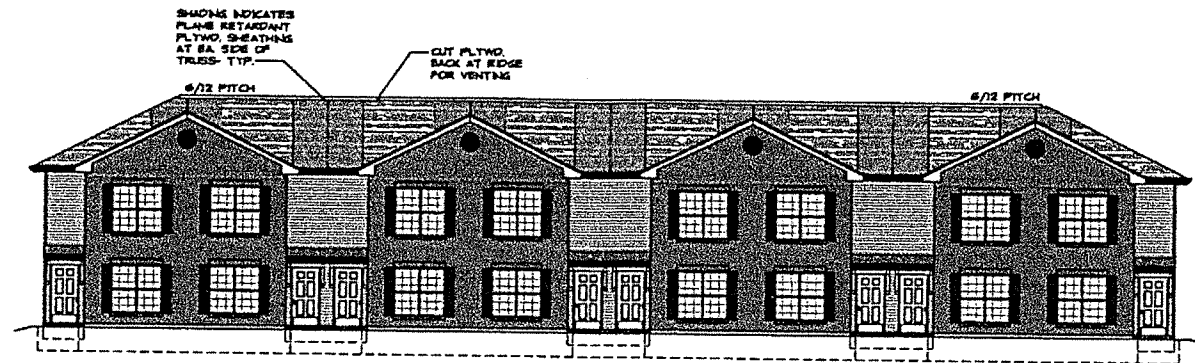
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ROOF PLAN

DATE:
OCT. 18, 2021

SHEET NUMBER:

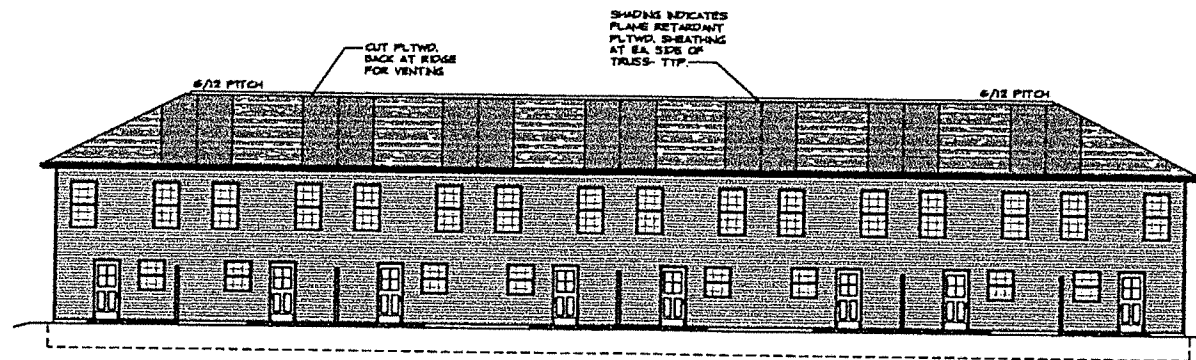
A.203

PROJECT NUMBER: 2019-22



1 OVERALL FRONT ELEVATION
A.300 SCALE 1/8" = 1'-0"

SEE SHEET A.301 FOR ENLARGED FRONT ELEVATION



2 OVERALL BACK ELEVATION
A.300 SCALE 1/8" = 1'-0"

SEE SHEET A.302 FOR ENLARGED FRONT ELEVATION



REVISIONS:
NO. DATE:
DESCRIPTION:
CITY COMMENTS
NO. DATE:
DESCRIPTION:

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050

ARCHITECT:
NICKAS
ARCHITECTURE, LLC
111 N. NICHOLS WAY, COLEMAN, ILLINOIS 62221
SMALL FIRM ARCHITECTURAL FEE SCHEDULE
STATE OF ILL. DESIGN FEE: \$1,000/HOUR

PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

SHEET TITLE:

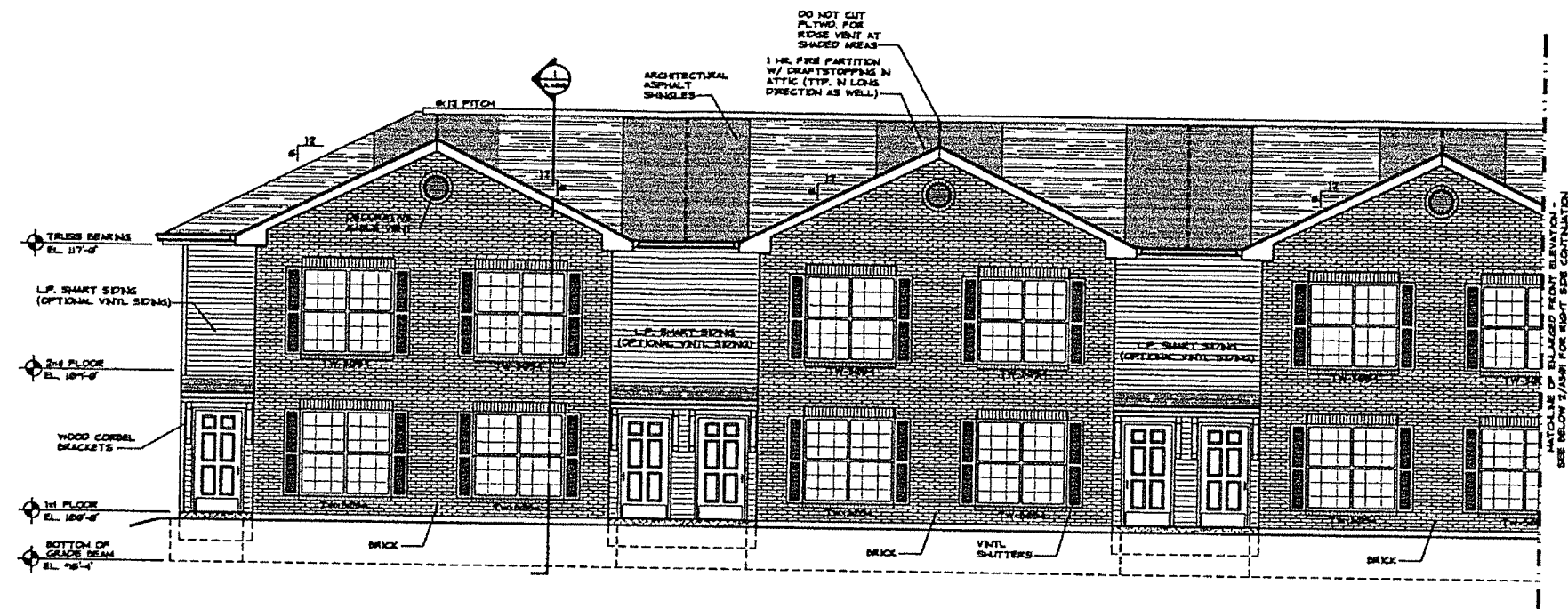
EXTERIOR
ELEVATIONS

DATE:
OCT. 18, 2021

SHEET NUMBER:

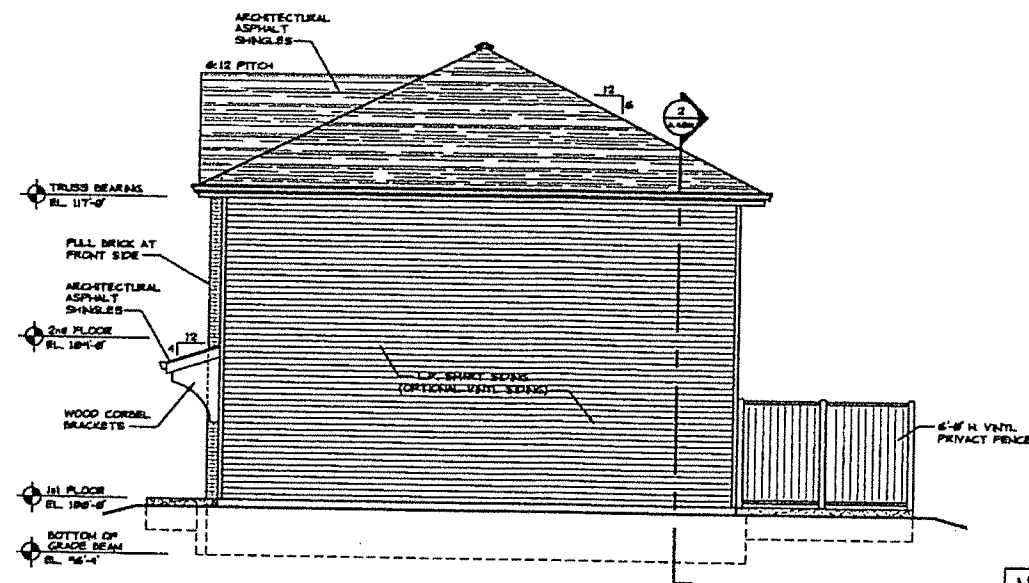
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PROJECT NUMBER: 2019-22



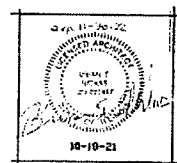
1 ENLARGED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE SIDE OF THE FRONT ELEVATION IS A MIRROR IMAGE, WITH SIMILAR LOOK.



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE: THE OPPOSITE SIDE OF THE SIDE ELEVATION IS A MIRROR IMAGE, WITH SIMILAR LOOK.



REVISIONS:
NO. DATE:
DESCRIPTION:
CITY COMMENTS:
NO. DATE:
DESCRIPTION:

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT #102
BELLEVILLE, ILLINOIS 62221
618.277.5050



PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

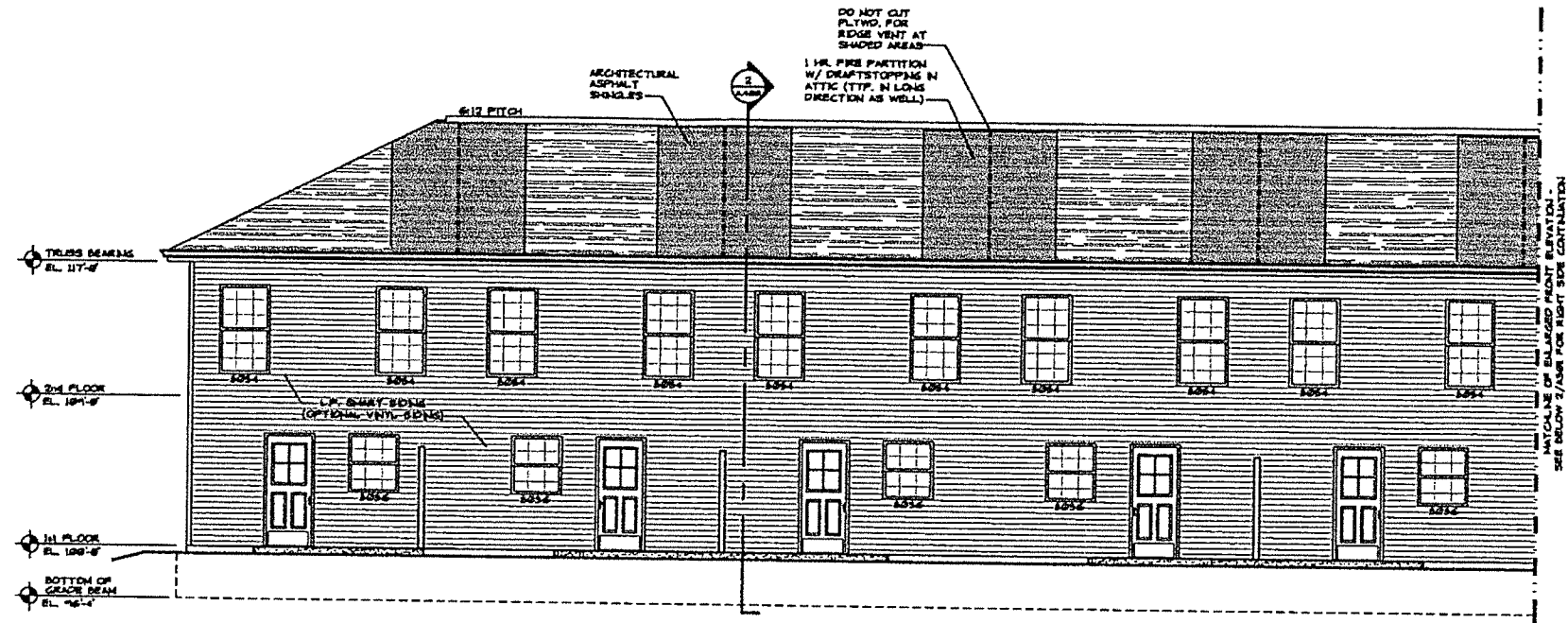
SHEET TITLE:
ENLARGED
EXTERIOR
ELEVATIONS

DATE:
OCT. 18, 2021

SHEET NUMBER:

A.301

PROJECT NUMBER: 2019-22



1 ENLARGED REAR ELEVATION
A.302 SCALE: 1/4" = 1'-0"

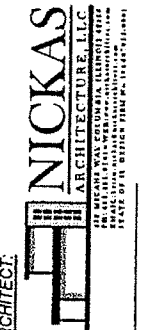
NOTE: THE OPPOSITE SIDE OF THE
"BACK" ELEVATION IS A MIRROR
IMAGE, WITH SIMILAR LOOK.



REVISIONS:

NO. DATE
DESCRIPTION
CITY COMMENTS
NO. DATE
DESCRIPTION

OWNER:
HAYDEN DEVELOPMENT
138 LINCOLN PLACE CT. #102
BELLEVILLE, ILLINOIS 62221
618.277.5050



PROJECT INFO:
FALCON
PLACE
MASCOUTAH,
ILLINOIS 62258

SHEET TITLE:

ENLARGED
EXTERIOR
ELEVATION

DATE:
OCT. 10, 2021

SHEET NUMBER:

A.302

2nd ARCHITECTURAL
STILE ASPHALT SHINGLES
OVER 2X4 BUILDUP FOLLOWS ON
1/2" EXT. GRADE PLTWOOD
SHEETS, WITH CLIPS

RESIDENTIAL ROOF
TRUSSES @ 24" O.C.
ENGINEERED & SEALED
OTHERS (CONTRACTOR
APPROVE & COORD. TRU
PLAN DESIGN & FINAL
STRUCTURAL INFO PRIOR
TO ROUGH FRAMING)

TRUSS BEARING
EL. 117'-6"

2nd FLOOR ROOM

5/8" GTF. BO. CEILING
5/8" GTF. BO. TYPE X
DOUBLES 2 x 4
TOP PLATE

2nd FLOOR ROOM

8" NO. SPICED IN
SPICED INSULATION
w/ VAPOR BARRIER
CONTINUOUS FIRE
RETARDANT 2x4 HALLER
FOR FIRESTOP

(1 HR. FIRE
RATING REQUIRED
PER CODE)

NOTE:
NOTES TYPICAL
FOR EACH SIDE
OF PARTITION

(2) LAYERS 5/8"
TYPE X GTF. BO.

2x4 WOOD STUDS
@ 16" O.C. (MAX.)
SPICED IN SPICED
INSULATION

1" AIRSPACE

3/4" T&G PLTWOOD
FLOORING (GLUE
& SCREW DOWN)

SECOND FLOOR
EL. 104'-6"

EXTEND GTF. BO.
TO FLOOR DECKING

2nd FLOOR ROOM

SPICED IN
SPICED INSULATION

5/8" GTF. BO. CEILING

(2) LAYERS 5/8"
TYPE X GTF. BO.

2x4 WOOD STUDS
@ 16" O.C. (MAX.)
SPICED IN SPICED
INSULATION

1" AIRSPACE

NOTE:
NOTES TYPICAL
FOR EACH SIDE
OF PARTITION

FIRST FLOOR ROOM

1/2" T&G @
16" O.C. MAX.
DOUBLES 2 x 4
TOP PLATE

(1 HR. FIRE
RATING REQUIRED
PER CODE)

1/2" DIA ANCHOR
BOLTS AT 4'-0" O.C. w/
MIN. 2 BOLTS PER
PIECE - w/ BOLT MIN.
1" FROM END, MIN. 7"
EMBED IN CONCRETE
(BOLTS MAY BE
DRILLED AND EPOXYED)

2 x 4 SILL PLATE

16 VERT. BAR

4" POURED CONC. SLAB OVER
5 MIL VAPOR BARRIER OVER
MIN. 4" CRUSHED ROCK OVER
COMPACTED EARTH

TOP OF SLAB
EL. 100'-6"

1st FLOOR ROOM

FOOTING/
THICKENED SLAB
TO BE POURED w/
FLOOR SLAB AND
DEAR A MIN. 14"

8 ROWS AS
BARS CONT.

ALL FOOTINGS TO BEAR ON UNDISTURBED SOL.
w/ MIN. BEARING CAPACITY OF 1,000 PSF
(OWNER RESPONSIBLE TO CONFIRM SOL.
BEARING REQUIREMENTS WITH CIVIL ENGINEER)

BOTT. OF FOOTING
EL. 90'-6"

3 **TENANT SEPARATION WALL SECTION**
SCALE: 1/4" = 1'-0"

A.400

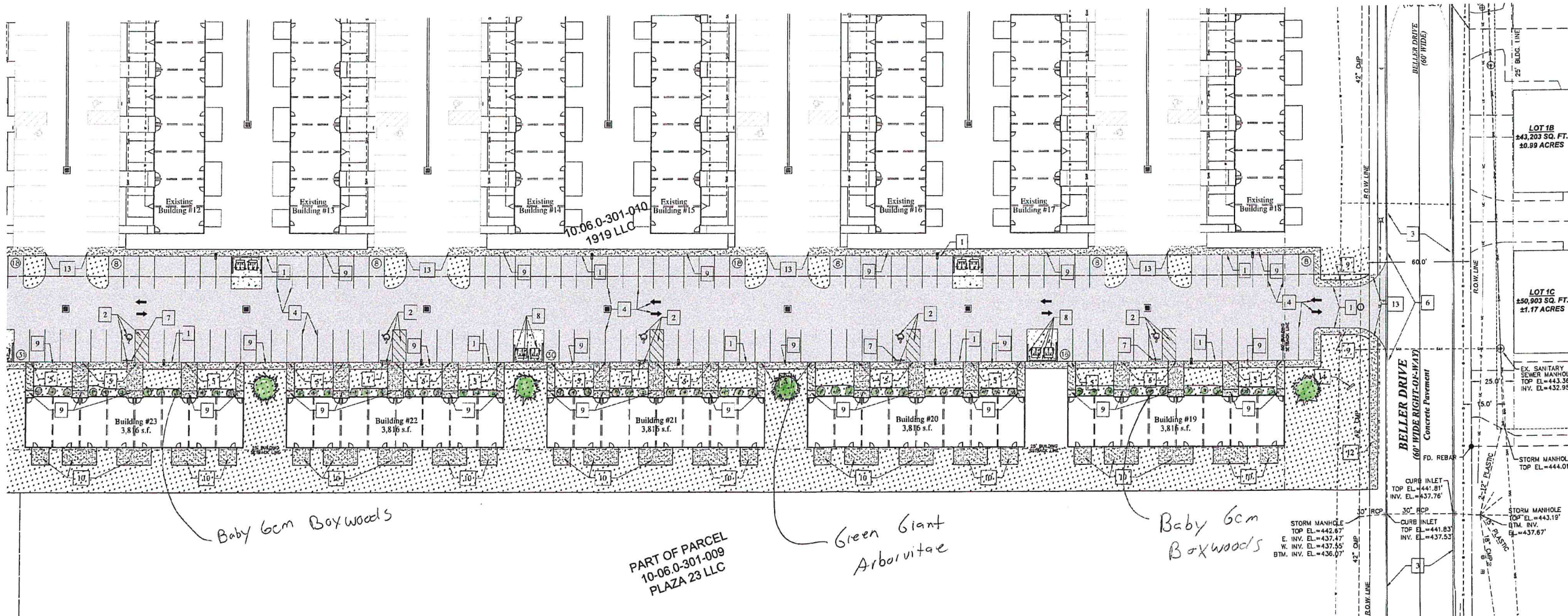
ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF MASCOUTAH AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION CODES, STANDARDS AND SPECIFICATIONS.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY.

THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL EXISTING UTILITIES LOCATED AND PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE (3) DAYS PRIOR TO ANY SITE WORK FOR IDENTIFICATION OF EXISTING UTILITIES.

- 1 PROPOSED EDGE OF PAVEMENT.
- 2 PROPOSED ACCESSIBLE PARKING STALL, STRIPING AND SIGNAGE, SEE DETAIL.
- 3 EXISTING ROADWAY TO REMAIN -- CONTRACTOR TO PROTECT IN PLACE.
- 4 PROPOSED 4" WIDE PARKING STALL, STRIPING AND WHITE PAVEMENT MARKING, TRAFFIC WHITE PAINT PER DETAIL. SEE PLAN FOR TYPICAL DIMENSIONS.
- 5 PROPOSED FLUSH PCC SIDEWALK TO PARKING LOT PAVEMENT.
- 6 PROPOSED CURB CUT. CONTRACTOR TO MAKE SMOOTH TRANSITION TO NEW PARKING LOT PAVEMENT.
- 7 PROPOSED CONCRETE PARKING BLOCK, SEE DETAIL.
- 8 PROPOSED TRASH/RECYCLNG ENCLOSURE WITH PIPE BOLLARDS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 PROPOSED CONCRETE SIDEWALK, CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 10 PROPOSED OUTDOOR CONCRETE PATIO AREA.
- 11 NOT USED THIS PLAN SET.
- 12 PROPOSED 5' WIDE CONCRETE SIDEWALK, CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 13 PROPOSED DETECTABLE WARNING (TRUNCATED DOMES) TO MEET ADA STANDARDS, SEE DETAIL. PROPOSED FLUSH PCC SIDEWALK TO PAVEMENT.
- 14 PROPOSED MONUMENT SIGN, SEE SIGNAGE PLANS FOR DETAILS.

	PROPOSED PCC CONCRETE SIDEWALK (4" PCC/4" AB), SEE DETAIL
	PROPOSED PCC CONCRETE PAVEMENT (6" PCC/6" AB), SEE DETAIL
	PROPOSED ASPHALT PAVEMENT - LIGHT DUTY (1.5" ASC/2" AI/8" AB), SEE DETAIL
	PROPOSED LANDSCAPE/GRASS AREA, SEE LANDSCAPE PLAN



Civil Site Plan
East Half
C200

H.
130

GENERAL SITE NOTES:

ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF MASCOUTAH AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION CODES, STANDARDS AND SPECIFICATIONS.

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ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS, WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY.

ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF ALL SIGNS SHALL BE GOVERNED BY LOCAL CODES.

THE CONTRACTOR IS RESPONSIBLE TO HAVE ALL EXISTING UTILITIES LOCATED AND PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE (3) DAYS PRIOR TO ANY SITE WORK FOR IDENTIFICATION OF EXISTING UTILITIES.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE PROJECT SITE BEFORE BEGINNING CONSTRUCTION.

CIVIL SITE KEY NOTES:

- 1 PROPOSED EDGE OF PAVEMENT.
- 2 PROPOSED ACCESSIBLE PARKING STALL STRIPING AND SIGNAGE. SEE DETAIL.
- 3 EXISTING ROADWAY TO REMAIN - CONTRACTOR TO PROTECT IN PLACE.
- 4 PROPOSED 4" WIDE PARKING STALL STRIPING AND WHITE PAVEMENT MARKING, TRAFFIC WHITE PAINT PER DETAIL. SEE PLAN FOR TYPICAL DIMENSIONS.
- 5 PROPOSED FLUSH PCC SIDEWALK TO PARKING LOT PAVEMENT.
- 6 PROPOSED CURB CUT. CONTRACTOR TO MAKE SMOOTH TRANSITION TO NEW PARKING LOT PAVEMENT.
- 7 PROPOSED CONCRETE PARKING BLOCK. SEE DETAIL.
- 8 PROPOSED TRASH/RECYCLING ENCLOSURE WITH PIPE BOLLARDS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 PROPOSED CONCRETE SIDEWALK. CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 10 PROPOSED OUTDOOR CONCRETE PATIO AREA.
- 11 PROPOSED TYPE B-6.24 CURB AND GUTTER. SEE DETAIL.
- 12 PROPOSED 5" WIDE CONCRETE SIDEWALK. CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 13 PROPOSED DETECTABLE WARNING (TRUNCATED DOMES) TO MEET ADA STANDARDS. SEE DETAIL. PROPOSED FLUSH PCC SIDEWALK TO PAVEMENT.
- 14 PROPOSED MONUMENT SIGN. SEE SIGNAGE PLANS FOR DETAILS.

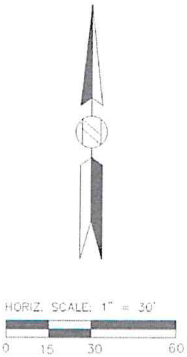
SITE PAVING LEGEND:

- PROPOSED PCC CONCRETE SIDEWALK (4" PCC/4" AB). SEE DETAIL.
- PROPOSED PCC CONCRETE PAVEMENT (6" PCC/6" AB). SEE DETAIL.
- PROPOSED ASPHALT PAVEMENT - LIGHT DUTY (1.5" ASC/2" A1/8" AB). SEE DETAIL.
- PROPOSED LANDSCAPE/GRASS AREA. SEE LANDSCAPE PLAN.

POLE FIXTURES MOUNTED ON 25' POLE & 2.5' BASE LIGHT LEVEL CALCULATED ON THE GROUND

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	3.77	6.8	1.3	2.9	5.2
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts	Description
1	1	S3	SINGLE	0.900	303	303	PRV-XL-PA4B-740-U-T3
5	5	S4	SINGLE	0.900	303	1515	PRV-XL-PA4B-740-U-T4W
10	10	WP	SINGLE	0.900	151	1510	PRV-PA2B-740-U-T4W

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN HEIGHT OR LOCATION, LAMP WATTAGE, LAMP TYPE, AND EXISTING FIELD CONDITIONS, THAT EFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RECALCULATION.



PART OF PARCEL
10-06.0-301-009
PLAZA 23 LLC

Surveyor:
Checkpoint Surveying LLC

STATE OF ILLINOIS
JULY 25, 2024
TODD J. REYING, PE
062 064054

Civil Engineer:
RDC
REYLING DESIGN & CONSULTING
4516 Boardwalk | Smithton, IL | 62285
reylingdc@gmail.com

Illinois Firm License: 184 007395-0002
IL Certificate of Authority: 0567224-4

PROFESSIONAL SEAL
TODD J. REYING, PE
062 064054
STATE OF ILLINOIS

LICENSE EXPIRES - 11.30.2025
DATE SIGNED - 09.15.2023

ENGINEER OF RECORD:
Todd J. Reying, PE
Illinois PE 062,064054

ISSUED / REVISED DATE
ISSUED FOR REVIEW 09/15/2023

PROJECT NUMBER: 19-156

New Ground Up Building:
Falcon Place - Phase 2
Beller Drive
Mascoctah, Illinois 62258
St. Clair County

Civil Site Plan
West Half
C201

GENERAL SITE NOTES:

ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST CITY OF MASCOUTAH AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION CODES, STANDARDS AND SPECIFICATIONS.

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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT THE PROJECT SITE BEFORE BEGINNING CONSTRUCTION.

HORIZONTAL CONTROL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER OF DISCREPANCIES.

ALL DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

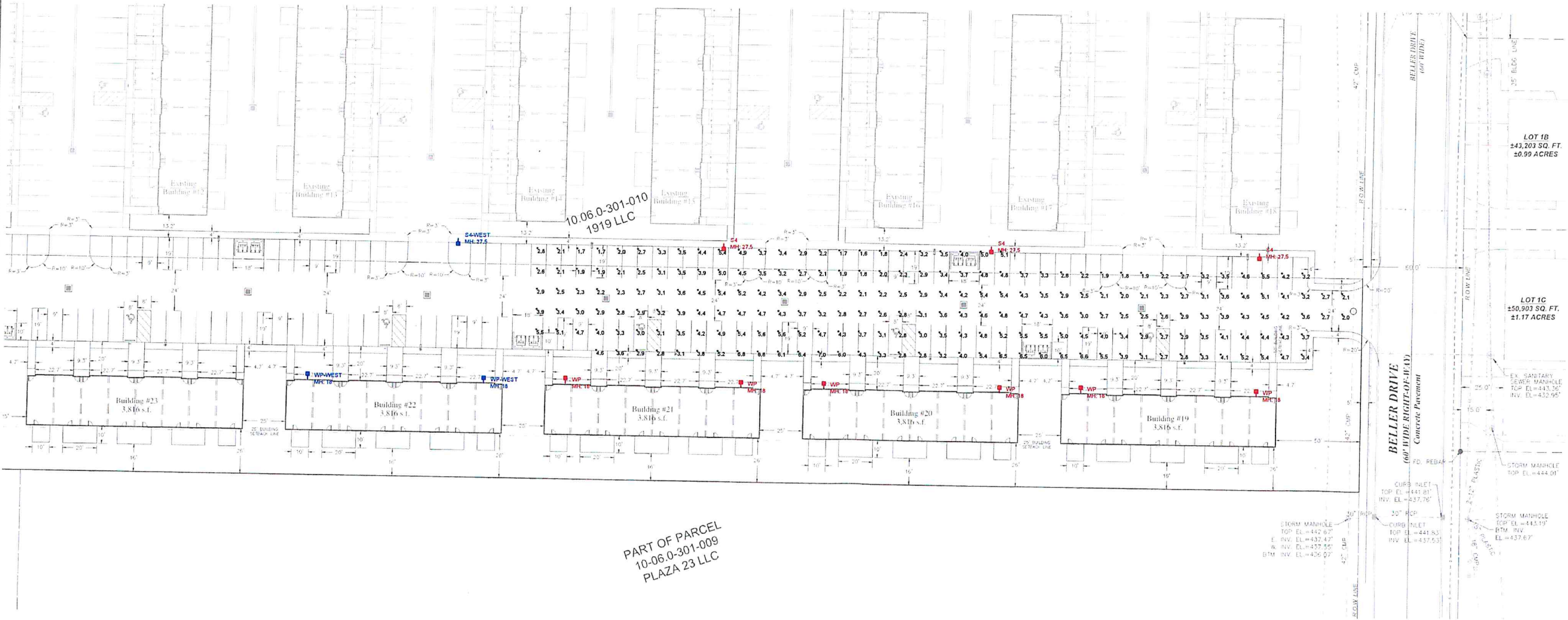
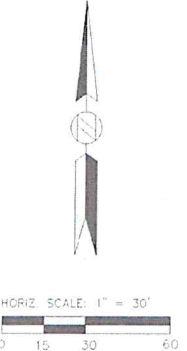
ALL PARKING LOT CURB RADII ARE DIMENSIONED TO THE BACK OF CURB.

POLE FIXTURES MOUNTED ON 25' POLE & 2.5' BASE
LIGHT LEVEL CALCULATED ON THE GROUND

Calculation Summary		CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Label	SITE	Illuminance	Fc	3.64	7.0	1.6	2.3	4.4

Luminaire Schedule		Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts	Description
			3	S4	SINGLE	0.900	303	909	PRV-XL-PA4B-740-U-T4W
			1	S4-WEST	SINGLE	0.900	303	303	PRV-XL-PA4B-740-U-T4W
			6	WP	SINGLE	0.900	151	906	PRV-PA2B-740-U-T4W
			2	WP-WEST	SINGLE	0.900	151	302	PRV-PA2B-740-U-T4W

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Surveyor
Checkpoint Surveying LLC

DONALD BOWMAN, PLS
Surveyor
1000 N. W. 10th St.
Mascoutah, IL 62258
(618) 242-2246
donaldbowman@checkpointsurveying.com

Civil Engineer:
RDC
REYLING DESIGN & CONSULTING
4516 Boardwalk | Smithton, IL | 62285
reylingdc@gmail.com
Illinois Firm License: 164.007395-0002
IL Certificate of Authority: 0567224-4

Professional Engineer
TODD J. REYLING, PE
002.06.052
STATE OF ILLINOIS

LICENSE EXPIRES - 11.30.2025
DATE SIGNED - 09.15.2023

ENGINEER OF RECORD
Todd J. Reyling, PE
Illinois PE 062.094054

ISSUED / REVISED DATE
ISSUED FOR REVIEW 09.15.2023

PROJECT NUMBER: 19-156

New Ground Up Building:
Falcon Place - Phase 2
Beller Drive
Mascoutah, Illinois 62258
St. Clair County

Site Plan
Horizontal
Control
East Half
C202

GENERAL SITE NOTES:

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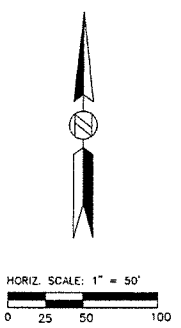
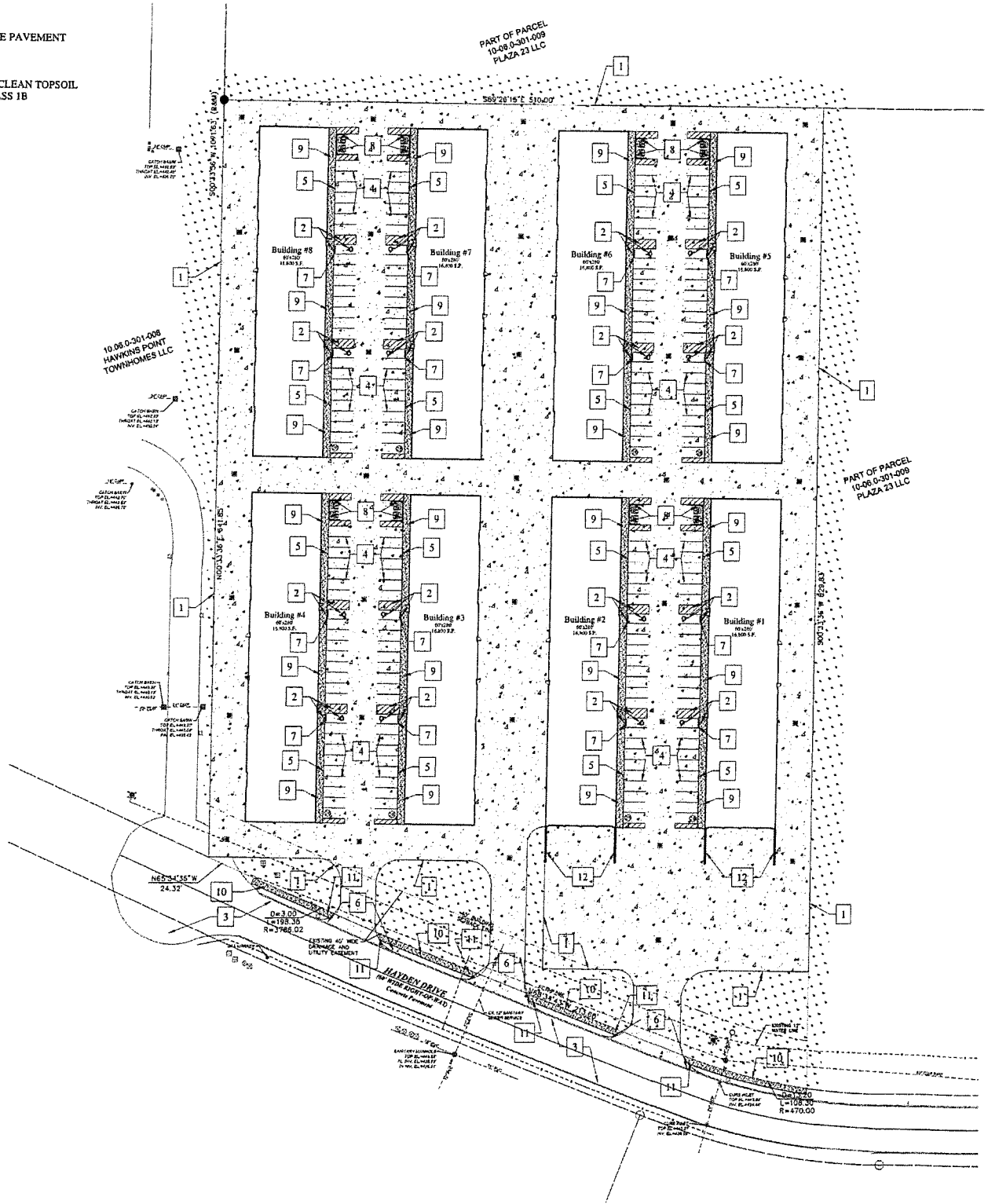
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CIVIL SITE KEY NOTES:

- 1 PROPOSED EDGE OF PAVEMENT.
- 2 PROPOSED ACCESSIBLE PARKING STALL STRIPING AND SIGNAGE, SEE DETAIL.
- 3 EXISTING ROADWAY TO REMAIN - CONTRACTOR TO PROTECT IN PLACE.
- 4 PROPOSED 4" WIDE PARKING STALL STRIPING AND WHITE PAVEMENT MARKING, TRAFFIC WHITE PAINT PER DETAIL. SEE HORIZONTAL CONTROL PLAN FOR TYPICAL DIMENSIONS.
- 5 PROPOSED FLUSH PCC SIDEWALK TO PARKING LOT PAVEMENT.
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- 7 PROPOSED CONCRETE PARKING BLOCK, SEE DETAIL.
- 8 PROPOSED TRASH/RECYCLNG ENCLOSURE WITH PIPE BOLLARDS. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 PROPOSED CONCRETE SIDEWALK, CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 10 PROPOSED 5' WIDE CONCRETE SIDEWALK, CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 11 PROPOSED DETECTABLE WARNING (TRUNCATED DOME) TO MEET ADA STANDARDS, SEE DETAIL. PROPOSED FLUSH PCC SIDEWALK TO PAVEMENT.
- 12 PROPOSED RETAINING WALL LOADING DOCK AREA.

SITE PAVING LEGEND:

- PROPOSED PCC CONCRETE SIDEWALK (4" PCC/4" AB), SEE DETAIL.
- PROPOSED PCC CONCRETE PAVEMENT (8" PCC/6" AB), SEE DETAIL.
- PROPOSED GRASS AREA, CLEAN TOPSOIL WITH IDOT SEED MIX CLASS 1B WITH MULCH METHOD 2.



Civil Engineer:

RDC
REYLING DESIGN & CONSULTING
4516 Boardwalk | Smithton, IL | 62285
reylingdc@gmail.com

Illinois Firm License: 164.007355-0002
IL Certificate of Authority: 0667224-4

Professional Engineer Seal for Todd J. Reyling, PE, No. 062.064054, State of Illinois, expires 11.30.2023.

LICENSE EXPIRES - 11.30.2023
DATE SIGNED - 08.11.2023

ENGINEER OF RECORD:
Todd J. Reyling, PE
Illinois PE 062.064054

ISSUED / REVISED DATE
ISSUED FOR REVIEW 08.11.2023

PROJECT NUMBER: 22-149

New Ground Up Buildings:

Mascoutah Warehouses

Hayden Drive
Mascoutah, Illinois 62258
St. Clair County

Civil Site Plan
C200

F.

HAYDEN CONSTRUCTION

ROAD

MASCOUTAH, IL 62258

Drawings Prepared By:

Brian T. Nickas

452 Micah's Way

Columbia, IL 62236

ph. 618.531.0107

batnickas@charter.net

GENERAL NOTES:

1. PRIOR TO THE BEGINNING OF WORK, THE GENERAL CONTRACTOR SHALL REVIEW ALL ELEVATIONS, RESTRICTIONS AND SITE CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER OF ANY DRAWING ERRORS OR INCONSISTENCIES.
2. DO NOT SCALE DRAWINGS FOLLOW WRITTEN DIMENSIONS ONLY. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND NOTIFY OWNER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
3. GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL BUILDING PERMITS, WATER TAP FEES, SEWER TAP FEES AND ETC.
4. CHANGES TO THIS WORK ARE ONLY AUTHORIZED IF IN WRITING FROM THE OWNER. THE DESIGN DRAWINGS CONTEMPLATE A FINISHED PIECE OF WORK OF SUCH CHARACTER AND QUALITY AS IS DESCRIBED IN AN IS REASONABLY INFERRABLE FROM THEM; AND THE CONTRACTOR, RECOGNIZING THE IMPOSSIBILITY OF PRODUCING DRAWINGS AND SPECIFICATIONS WITH PERFECT ACCURACY, AGREES THAT HIS SUBMITTED BID FOR THE WORK HERE UNDER INCLUDES SUFFICIENT MONEY ALLOWANCE TO MAKE HIS WORK COMPLETE AND OPERABLE, AND IN COMPLIANCE WITH GOOD PRACTICE AND THE ORDINANCES, CODES AND REGULATIONS OF ALL BODIES OR PERSONS HAVING GOVERNMENTAL AUTHORITY OVER IT.

NOTE:

THIS SET OF ARCHITECTURAL DESIGN DRAWINGS DEPICTS ONLY THE DESIGN INTENT OF THE OWNER(S). CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE CODES, DESIGN AND CONSTRUCTION OF ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL ENGINEERING TO BE BY OTHERS.

ALL CIVIL ENGINEERING BY OTHERS.
ALL STRUCTURAL CALCS AND DESIGN BY OTHERS.
MECHANICAL, ELECTRICAL, PLUMBING TO BE OF
DESIGN-BUILD TYPE BY OTHERS, COORDINATED AND
RESPONSIBILITY OF THE CONTRACTOR/ OWNER.

SHEET INDEX:

COVER SHEET

A.100 FOUNDATION PLAN

A.200 FLOOR PLAN

A.300 EXTERIOR ELEVATIONS

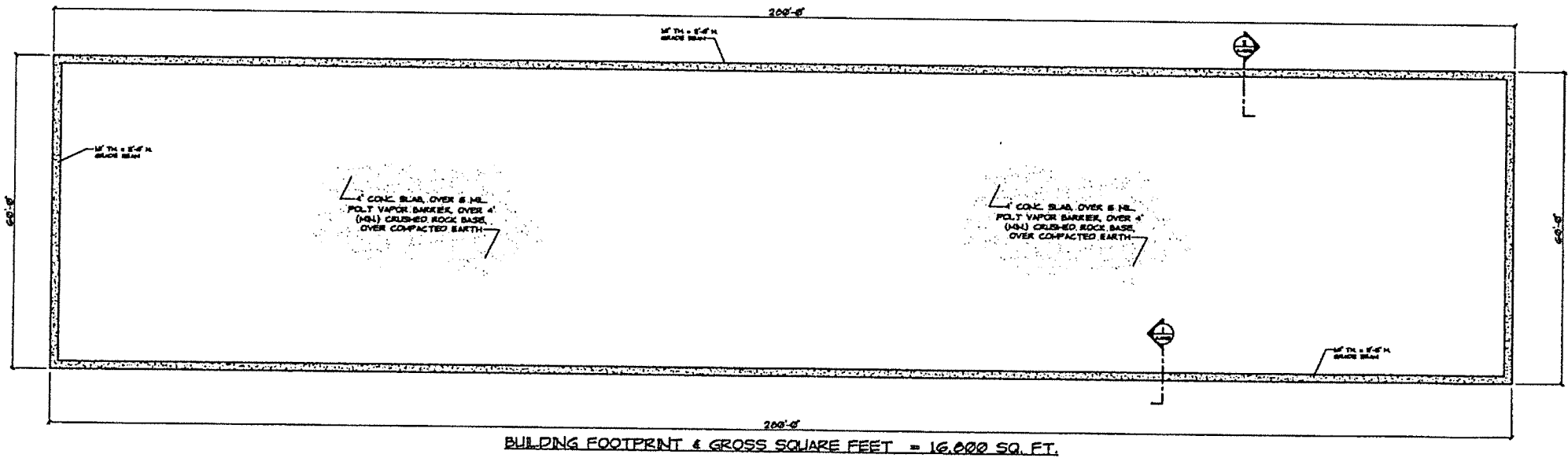
A.400 WALL SECTIONS

COMPLETED DRAWINGS:
JUNE 6, 2016

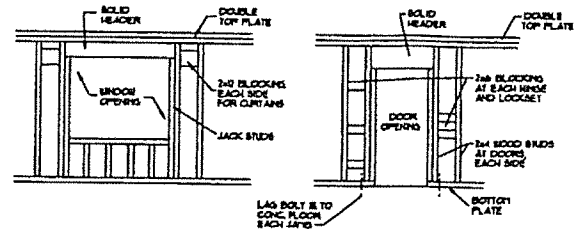
PROJECT NUMBER: 2016-11

G.

PROJECT NUMBER: 2016-11



1 FOUNDATION PLAN
A100 SCALE: 3/32" = 1'-0"



TYPICAL WINDOW FRAMING SCALE: 1/4" = 1'-0"

TYPICAL DOOR FRAMING SCALE: 1/4" = 1'-0"

LINTEL SCHEDULE		
OPENING	LINTEL SIZE	2x JACK STUDS
UP TO 4'-0"	2x 2x6s w/ 1/2" PLYWOOD BETWEEN	2 JACKS EACH END
4'-0" - 6'-0"	2x 2x6s w/ 1/2" PLYWOOD BETWEEN	2 JACKS EACH END

REVISIONS:	
NO.	DATE
DESCRIPTION	
NO.	DATE
DESCRIPTION	

Brian T. Nickas
Drafting & Design Services
452 Micah's Way
Columbia, IL 62236
ph. 618.531.0107
brian.nickas@gmail.com

PROJECT INFO:
HAYDEN
CONSTRUCTION
ROAD
MASCOUTAH,
ILLINOIS 62258

SHEET TITLE:
FOUNDATION
PLAN

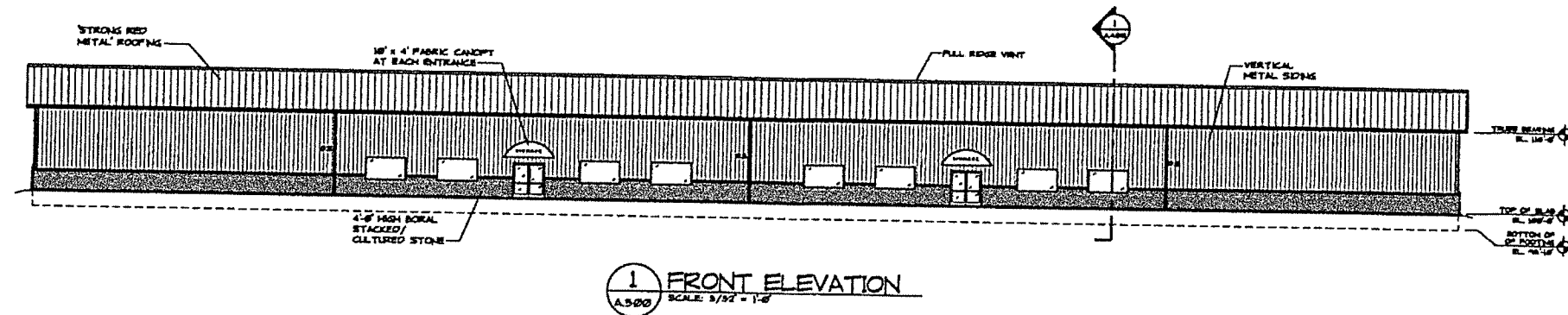
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JUNE 6, 2016

SHEET NUMBER:

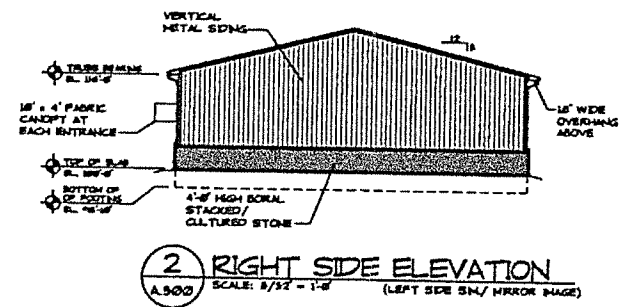
A.100

ALL CIVIL ENGINEERING BY OTHERS.
ALL STRUCTURAL CALCS AND DESIGN BY OTHERS.
MECHANICAL, ELECTRICAL, PLUMBING TO BE OF
DESIGN-BUILD TYPE BY OTHERS, COORDINATED AND
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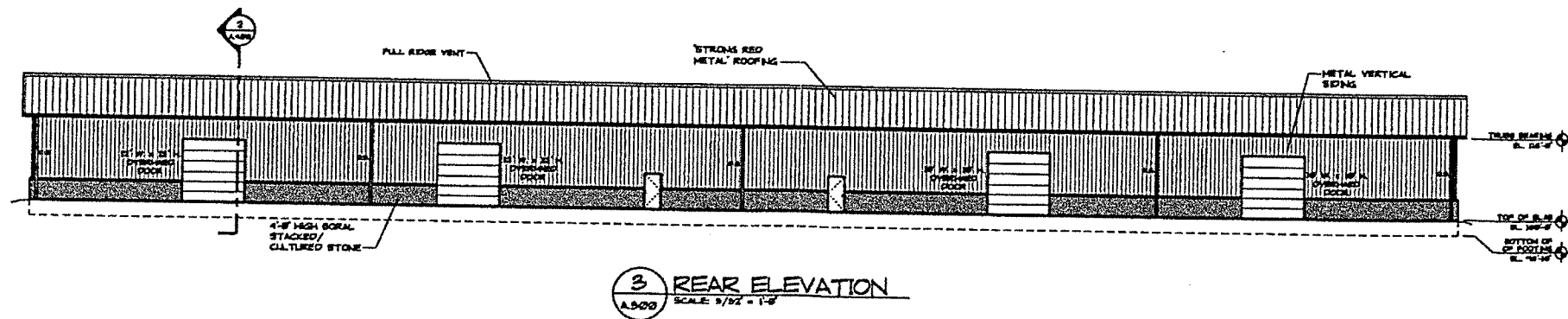
PROJECT NUMBER: 2016-11



1 FRONT ELEVATION
A.300 SCALE: 3/32" = 1'-0"



2 RIGHT SIDE ELEVATION
A.300 SCALE: 3/32" = 1'-0" (LEFT SIDE SHOWN/MIRROR IMAGE)



3 REAR ELEVATION
A.300 SCALE: 3/32" = 1'-0"

REVISIONS:	
NO.	DATE: DESCRIPTION:
NO.	DATE: DESCRIPTION:

Brian T. Nickas
Drafting & Design Services
452 Michels Way
Columbia, IL 62236
ph. 618.531.0107
briannickas@gmail.com

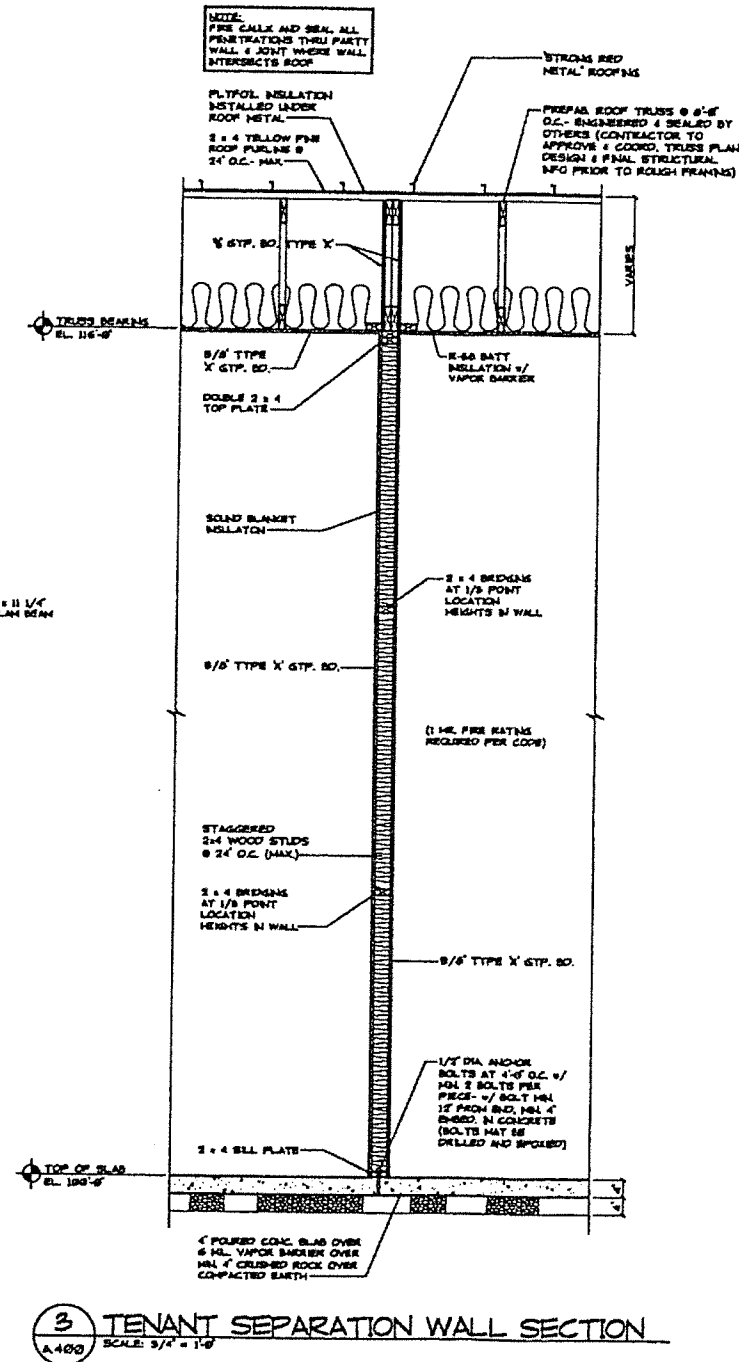
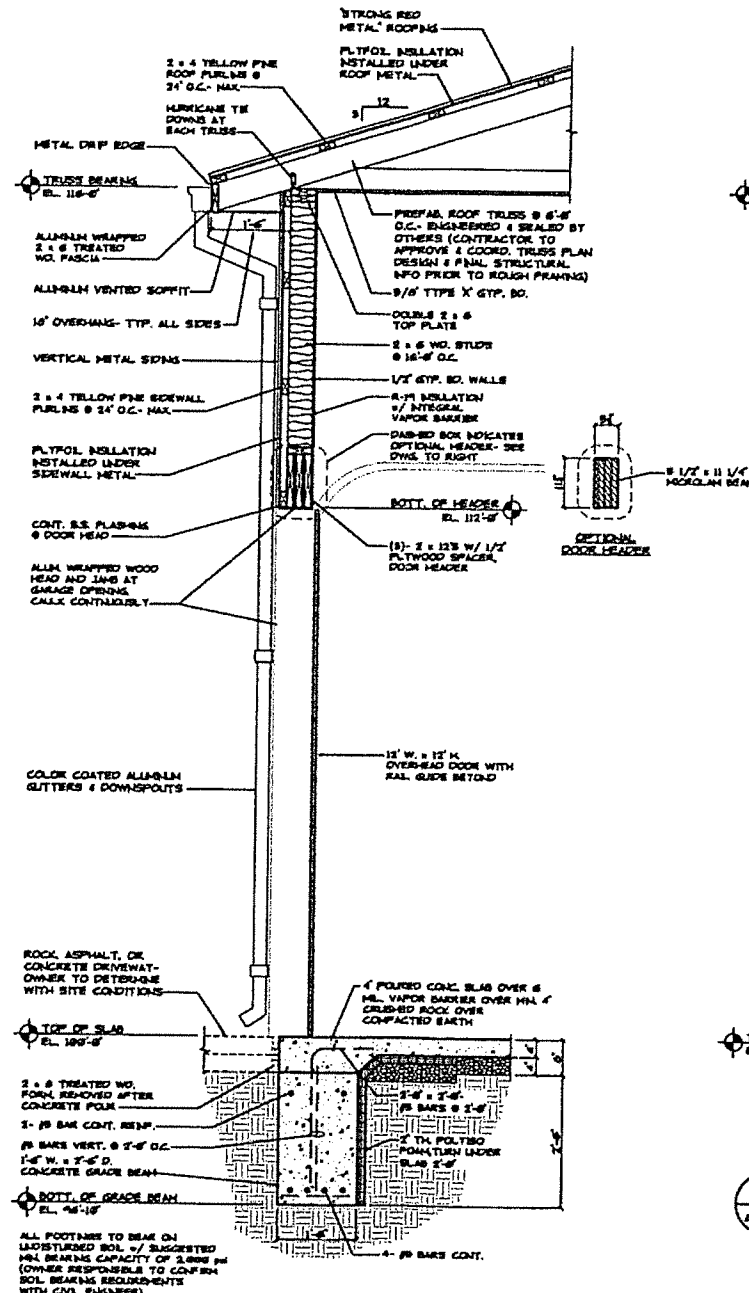
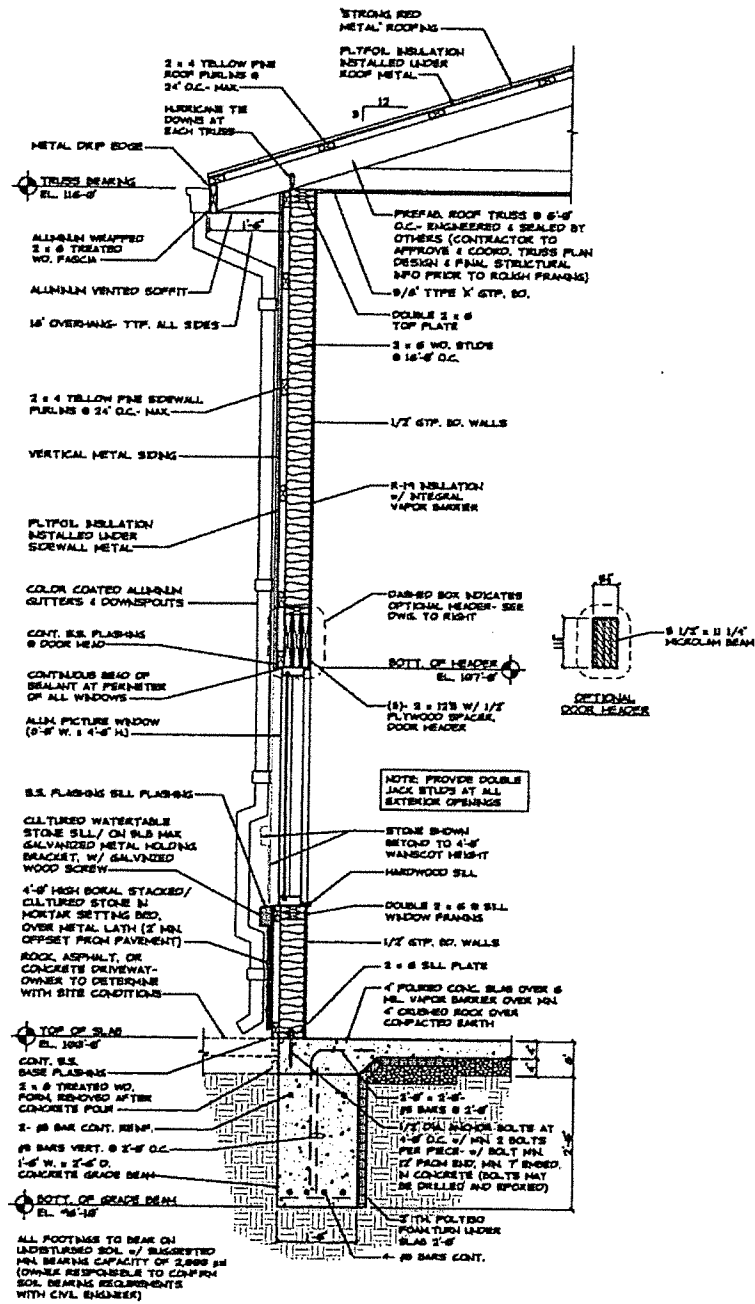
PROJECT INFO:
HAYDEN
CONSTRUCTION
ROAD
MASCOUTAH,
ILLINOIS 62258

SHEET TITLE:
EXTERIOR
ELEVATIONS

DATE:
JUNE 6, 2016

SHEET NUMBER:
A.300

PROJECT NUMBER: 2016-11



REVISIONS:	
NO.	DATE:
DESCRIPTION:	
NO.	DATE:
DESCRIPTION:	

Brian T. Nickas
Drafting & Design Services
452 Michals Way
Columbia, IL 62236
ph. 618.531.0107
brian.nickas@gmail.com

PROJECT INFO:
HAYDEN
CONSTRUCTION
ROAD
MASCOUTAH,
ILLINOIS 62258

SHEET TITLE:
WALL
SECTIONS

DATE:
JUNE 6, 2016

SHEET NUMBER:
A.400