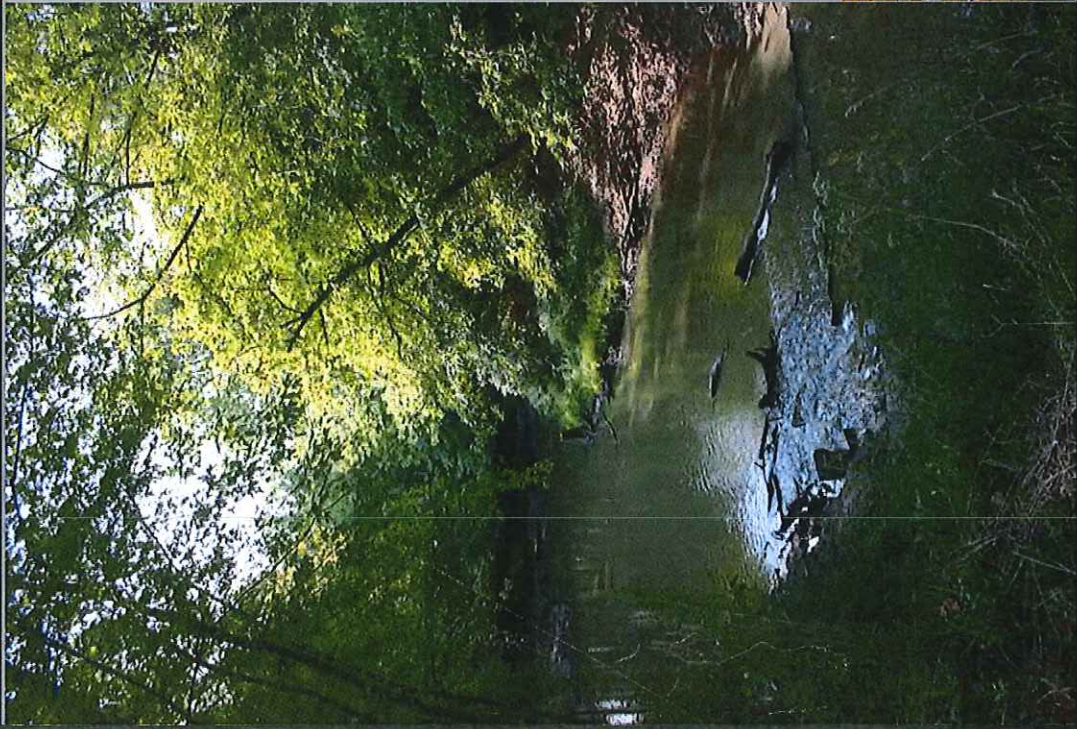
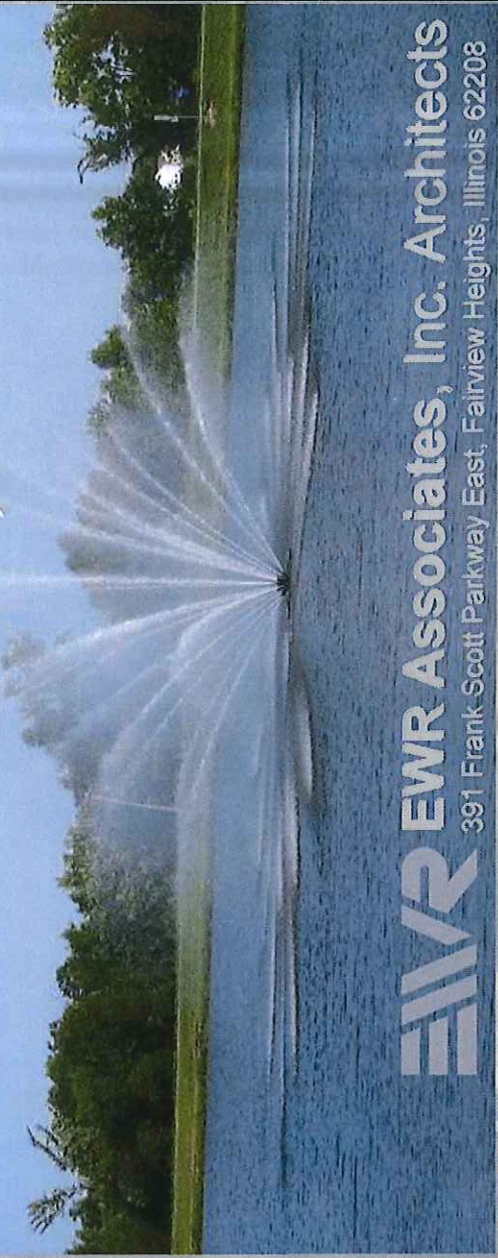




Master Plan Study Prairie Lake Park *Mascoutah, Illinois*



EWR EWR Associates, Inc. Architects
391 Frank Scott Parkway East, Fairview Heights, Illinois 62208



Prairie Lake Park Master Plan Update – January 2015

This is the first update to the Prairie Lake Park Master Plan since its adoption in June 2008. The purpose of the update is to expand the descriptive and quantitative data contained in the original Master Plan to better define the scope of the improvements planned for the redevelopment of Prairie Lake Park. The expanded descriptions assist with itemizing project components for each Phase.

Additionally, the costs of project components have been re-estimated and may be similar or significantly different, given the addition of new information or more complete analysis of the requirements to complete each project component. Costs itemized herein are updated to January 2015 with projections of start of construction as if that were to occur by June 2015. Thereafter, such itemized costs should either be re-estimated or an escalation factor of approximately 3% should be added per annum thereafter for no more than 3 years.

Phasing may be different as well given the likelihood of sequencing the various project components or the securing of funds from a variety of possible sources. As to the funding sources, it has become apparent that there may be other local entities who may be interested in sponsoring a project component or some portion of a component. These may include civic organizations, school districts, clubs or interested citizens.

Prairie Lake Park Redevelopment Components

Project Component Descriptions:

Phase 1

Component A. Lake Stabilization

The stabilization of the lake shore line and causeway have been accomplished as of the date of this master plan update and require only maintenance from now forward.

Component B. Repair Boat Ramp

The existing boat ramp located in the south lake needs to be removed and replaced by a new concrete boat ramp.

Phase 2

Component A. Improve Parking and Entry Road

The current parking areas are gravel lots, unmarked and ill defined. The lots are generally graded to drain to the lake, but because of their make-up, are subject to erosion, potholes, edge problems and material shifting and compression. New asphalt or preferably concrete paving will be far more stable, require less maintenance, be more attractive and function better for control of traffic movements, parking efficiency and safety. Parking areas should be improved to accommodate 25 parking spaces (1 handicapped accessible) at the west parking area and approximately 45 to 50 spaces (2 handicapped accessible) at the east parking area. These should be adequate for typical park usage, barring any major events.

Re-grade and compact the existing parking areas, install new compacted rock base and hard pavement, and stripe for traffic and parking. Add parking lot lighting for safety purposes, as an option. Add signage for parking and traffic definition, as well as park entry identification. Provide ADA compliant parking and accessible paths. Provide new parking at both the west (Silver Creek access area) park entrance area and at the east (proposed boathouse area) park entrance area. Add paved entrance roads from Rt. 177 to both east and west access parking areas.

Component B. Permanent Restroom Facility

Construct a permanent comfort station providing ADA accessible restroom facilities for male and female on the east side of the park. This restroom facility could easily be incorporated into the boathouse / concessions complex and share utilities services and access paths with those facilities. The restroom facilities should contain 2 lavatories and 2 water closets for each sex and a urinal in the men's restroom. The building should also contain a small storage and utility room which serves to house the electric panel, water heater, and also be the plumbing piping chase allowing full piping access for repairs and easy winterization of the piping. An ADA drinking fountain should also be accessed from the exterior. Entry to the restrooms should be through a maze for modesty protection and be designed to prevent dark isolated corners which may be perceived to be unsafe.

The building would not require heating or AC, but should be naturally and power ventilated, meet the Illinois Plumbing Code in design and be constructed of materials which require little maintenance and are durable to public use and potential abuse. Fixtures likewise should be specified to be equally durable and consideration of tamper proof and vandal resistant products shall be incorporated in the construction. Concrete or concrete block are good solutions to the wall durability, and wood trussed roofs and wood roof decks with 25+ year shingles or metal roofs should be employed along with cement ceilings. Light fixtures should also be vandal resistant and energy efficient with infrared switching, combination timer and electronic light sensor operation. Use of natural daylighting into the interior will reduce the need for artificial light sources during normal hours of usage. Durable toilet accessory equipment, minimizing use of paper goods shall be used and all facilities shall accommodate

handicapped accessibility for users. Brick exterior wall is optional. Doors, frames and hardware should also be low maintenance and durable, requiring little attention. Floors and foundations are to be reinforced concrete.

Component C. Lake Trail

Lake trails shall be developed as more permanent and accessible paths incorporating more stable, low maintenance walking surfaces. Trails should be a minimum of five foot (5') wide for accessibility and to allow easy passage of 2 people in opposite directions. Six foot (6') wide trails might be better yet to accommodate a couple in one direction and another person in the other one. Eight foot (8') wide trails would allow maintenance and emergency vehicle access to most places in the park. Surface materials considered acceptable for accessible, permanent trails should be 2" asphalt on a minimum 4" compacted crushed limestone screenings or granite contained within edge 4" concrete walks on grade, or 4" compacted crushed limestone screenings or granite contained within edge curbs or other fixed edging materials might be considered, but require more maintenance and repair. Wood chip or rubber playground surfacing might also be considered, if approved for ADA playground or pathway use, but require constant maintenance and an edge curb to maintain stability.

The lake trails are planned to completely access the perimeter of the lake itself, provide pedestrian access to the parking lots, boathouse, comfort station, potential concessions, boat docks, boardwalk, causeway and pavilions. Another function of the trail system is for fitness jogging or walking trail, besides just accessing other park features. The initial trail system around the lake will also provide access to later phases of trail development, to provide access and nature trails along and connecting to Silver Creek and other off-site trails which may be developed to the north across Rt. 177 and the Mascoutah High School and its athletic fields and to the south further along Silver Creek.

Other considerations to implement along with the trails themselves are the addition of site furniture such as benches, trash receptacles and signage along the paths. Fitness exercise stations might also be considered for development along the paths. Railings where steep side slopes such as along the causeway or shore line, a

pedestrian bridge in the middle of the causeway (which allows boaters to pass under from one section of the lake to the other), planting of landscaping involving over-story shade trees as well as specimen under-story trees and shrubs, grasses or floral plants, should also be added to create a more attractive and pleasant walking experience and provide some natural features to trail areas which lack aesthetic appeal now.

Component D. West Park Area Pavilion / Gazebo

The Master Plan includes construction of a 24' square or octagonal gazebo or pavilion with seating and/or 2 or 3 picnic tables in the west park area. A barbeque pit might also be considered at this location outside of the pavilion. Some landscaping, both hardscape and soft around the structure would also define this area visually and physically. The pavilion would also serve as an overlook at the end of the lake and at the proposed boardwalk which would extend out into the lake for fishing and as an added feature to the park.

The pavilion may be a purchased pre-manufactured type, installed on a permanent foundation or specifically custom designed for the park and stick built from standard available parts of wood or steel construction with a metal or shingle roof. It would be desirable to have the pavilion complement and match the design and materials of the restrooms, boathouse and any other structures to be built in the park. Lighting under the shelter would be optional, but could provide a beacon like presence at night and provide an attractive landmark structure for the park. Incorporating the placement of the shelter with the entry to the boardwalk via planning of the trail system and landscaping would integrate the two features yet each would still be separate features.

This area is also the potential site for a new Welcome to Mascoutah monument and a possible trail head for a nature trail along Silver Creek. Planning the proposed Welcome to Mascoutah entrance monument feature as an integrated element of the west park area together with the boardwalk and pavilion via the path and landscape configuration would create a cohesive plan.

Component E. Welcome to Mascoutah - West Entrance Monument

In addition to the overall Prairie Lake Park redevelopment, the opportunity exists to identify the west entrance to the City of Mascoutah with a monument. Planned is a decorative, low wall of masonry or concrete construction upon which large metal letters are mounted with “Mascoutah”, on the wall. To enhance the monument, landscaping may be added to border and frame the wall. Behind the wall is a water fountain feature, which will add to the visual appeal to the City’s entryway. The design of the wall and the water feature could take on several shapes or types of water movement in the final design. The water source can be the lake itself via a pump, and recycling the water will also serve to aerate the lake. A flagpole and flag would add another motion sensor attraction. A 100 amp electrical service will be needed for the pumps and for night lighting if the sign is to be illuminated and the water feature and flagpole are constructed. This will require grounding of the fountain and the flagpole.

Phase 3

Component A. Boat Dock with Gazebo

At the southeast corner of the lake, the Master Plan proposes a boat dock and gazebo. The gazebo should be a complimentary match to the gazebo/pavilion above in Phase 2, in materials and design, excepting that no picnic tables are required. The land based, gazebo is a separate structure from the boat dock itself, to facilitate possible separate funding sponsorship and phasing.

The dock is custom designed, but pre-fabricated in sections to allow repair, replacement and expansion. The dock can be a fixed level dock and preferably will be for adequate stability to be handicapped accessible and meet ADA specific requirements. This requires permanently set piles into the lake to attach the boat dock deck structure. Safety equipment shall be provided for water safety, including hook, buoy lines and float devices. Tie up hardware for non-powered boats such as canoes, kayaks, small sailboats, rowboats or less than 5 hp trolling

electric motor boats shall be provided as well as bumpers as necessary. The dock will require ADA features including ramped boat cradle, stepped transfer unit or electric lift and safety railings as necessary. Since night use is not proposed, lighting may not be required. If night fishing access from the dock is desired, minimal lighting would be required.

Component B. Boardwalk – West Park Access Area

The Master Plan calls for west end of the south lake to get a boardwalk out into the lake from the area around the pavilion and the potential trail head to Silver Creek. This boardwalk is designed to be a permanent, moored structure, not a floating dock facility. It is envisioned to be 5' wide minimum, fixed and level, extending over the water and ending approximately 75' to 100' out in the lake with a deck area capable of supporting about 20 people at a time. It will have benches for seating, walkway lighting and guard rails to prevent accidental falls into the water. The construction will be supported on piles in the water and consist of a superstructure of steel with a wood deck. Rails are anticipated to be protective coated steel or aluminum pipe or rod construction.

Phase 4

Component A. Wooded Trail

New nature trails through the wooded area and Silver Creek bottom land are planned as a part of the extended trails around the lake and possibly linking with the development of trails from the north and to the south along Silver Creek which might be developed by other entities and funded by other trail construction grants. With this in mind, and while the trails remain a planned component of the extended Prairie Lake Park redevelopment, they may be dealt with by other grants later and deferred from the initial phases of the Prairie Lake Park Master Plan.

Regardless, the Master Plan defines the general path and layout of the trails which requires the construction of 2 pedestrian bridges across Silver Creek, and approximately 1 mile of trail. This trail could be constructed of a variety of surfaces depending upon the terrain, the slopes, and the flood way. Typically, higher elevation, low

flood probability areas may be comprised of an asphalt path on rolled stone base for a more permanent surface and fully accessible. Other areas which are prone to high water flooding might be raised paths of wood or concrete supported on piling or posts permanently moored. Or, some areas which may flood regularly may be treated as low water passages of concrete or flat stonework which would be impassable in high water periods. Some might be constructed of crushed, compacted stone, however, funding which could be utilized for the park development may involve state or federal funds which would require ADA compliance and preclude this or the loose stone option. The ADA would apply regardless of the source of funding, so this updated Master Plan assumes the more compliant paving options of the elevated boardwalk or the asphalt paving. Five foot (5') width should be the minimum width regardless, and the cost analysis assumes an average of six foot (6'). Signage related to way-finding and notation of natural features along the path should be included.

Component B. Silver Creek Bridges

The bridges discussed above, which cross Silver Creek, are envisioned to be a combination of wood deck and steel supporting structure and be pre-fabricated custom designed bridges as available from several manufacturers of park and recreation pedestrian bridges. They will include reinforced concrete bridge abutment foundations mounted on either side of the creek. The length of the bridges will be approximately 50' to 60' each. These will include trussed side structures as the main span supports and safety railings.

Component C. Outdoor Classrooms

Along the nature trail, several areas might be cleared, surfaced with gravel material and some rough site furniture (logs or stumps) added to facilitate use as outdoor classroom spaces for use by local schools for science classes.

Phase 5

Component A. Boat Storage and Concessions Facility

This phase of the redevelopment assumes that the park improvements to date have generated a need and desire for more active water centered activity, in the form of a concession operation involving the rental of boats for recreation and entertainment. The prospect of renting canoes, kayaks, small sail boats, electric motor operated boats and rowboats to the public or use of the dock and storage by the local high school or clubs, offers new possibilities to derive revenue from the park, but also significant investment as well. Such a concession would require at least part time employees to operate and safeguard the facilities and the users. No other park in the immediate area has such a venue available and therefore this opportunity has little precedent. The development of this option is a desirable feature for the City and Prairie Lake Park, but requires some long term commitment of the operation which may take the course of being a lease arrangement to a private concessionaire for the operation and management.

This component would require several structures be developed in a contained complex that would include:

1. A 24' x 60' boat storage building
2. A 16' x 24' concession office and operations building (which might also include a bait shop, equipment rental service counter, and possibly a food and beverage concession – providing soft drinks, snacks, impulse items, ice, and maybe quick serve sandwiches such as hot dogs, pre-packaged sandwiches, and possibly ice cream products). It is assumed the later items would be necessary for a vendor tenant to acquire some added income producing commercial interests.
3. A 50' x 90' outdoor patio or plaza area with drinking fountain, roof covered patio or picnic shelter area
4. Access to restrooms (either a part of the previous Phase 2 restrooms, or separate if not otherwise provided – we have assumed these would be shared for cost purposes).
5. Direct access to the east parking area from Phase 2.

The structures involved and discussed above should be constructed to be complimentary to, and of the same materials and similar design genre as, the pavilions and other structures defined in other phases, in order to present a unified and cohesive design style creating aesthetic harmony.



Utilities Plan

Water

Existing ---
Proposed ---

Sewer

Existing ---
Proposed ---
Ejector - force

Electric

Existing ---
Proposed ---

City of Mascoutah, Illinois
Prairie Lake Park Master Plan

Prairie Lake Park Master Plan Update 2015

Construction Estimate - Phased

Project Phases / Components

Phase 1.	Quantity	Units	Unit Cost	Extended Cost	Component Cost	Phase Total Cost
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Component A. Lake Stabilization - COMPLETED

Component B. Repair Boat Ramp

a. Remove and replace with new concrete	1	each	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00	\$ 30,000.00
Phase Total						

Phase 2.

Component A. Improve Parking and Entry Road

East Lot

a. regrade, proofroll, install new rock base and asphalt surface	24,000	sf	\$ 3.00	\$ 72,000.00		
b. stripe parking stalls and traffic lines	40	each - cars /trailers	\$ 30.00	\$ 1,200.00		
c. install ADA and other necessary signage	3	each	\$ 250.00	\$ 750.00		
d. optional lighting and electric service	6	poles each	\$ 3,000.00	\$ 18,000.00	\$ 91,950.00	

West Lot

a. regrade, proofroll, install new rock base and asphalt surface	13,000	sf	\$ 3.00	\$ 39,000.00		
b. stripe parking stalls and traffic lines	25	each - cars /trailers	\$ 30.00	\$ 750.00		
c. install ADA and other necessary signage	3	each	\$ 250.00	\$ 750.00		
d. optional lighting and electric service	4	poles each	\$ 3,000.00	\$ 12,000.00	\$ 52,500.00	

Component B. Permanent Restroom Facility

18 x 30 bldg

a. Male and Female with central utility room/chase						
b. 2 lavs and 2 water closets -female						
c. 2 lavs and 1 water closet and 1 urinal -male						
d. drinking fountain service sink, hose bibbs, hot water heater						
e. masonry wall construction/ wood truss roof/ metal roofing						
f. install new utilities	480	sf	\$ 250.00	\$ 120,000.00		
1. water	900	ft	\$ 20.00	\$ 18,000.00		
2. sewer	900	ft	\$ 65.00	\$ 58,500.00		
3. electric	1250	ft	\$ 30.00	\$ 37,500.00	\$ 234,000.00	

Component C. Lake Trail

a. 5' wide x 1 mile	25,000	sf	\$ 7.00	\$ 175,000.00		
b. alternate for 8' wide trail - add 3' paving	16,000	sf	\$ 7.00	\$ 112,000.00		
c. signage	10	ea	\$ 120.00	\$ 1,200.00		
d. benches	8	ea	\$ 850.00	\$ 6,800.00		
e. trash cans	4	ea	\$ 3,000.00	\$ 12,000.00		
f. mini shelters on causeway	2	ea	\$ 4,000.00	\$ 8,000.00		
g. landscaping	1	ls	\$ 650.00	\$ 650.00		
h. exercise stations	10	ea	\$ 250.00	\$ 2,500.00		
i. rails at causeway (partial)	200	lf	\$ 25.00	\$ 5,000.00	\$ 323,150.00	

Component D. West Park Area Pavilion /Gazebo

	450	sf		
a. 24' wide octagonal shelter/ pad			\$	100.00 \$
b. optional lighting and electric service	1	ls	\$	3,000.00 \$
c. picnic tables	3	ea	\$	550.00 \$
d. bbq pit	1	ea	\$	300.00 \$
e. landscaping	1	ls	\$	1,500.00 \$
				51,450.00 \$

Component E. Welcome Mascoutah West Entrance Monument

Item	Unit	Quantity	Unit Price	Total Price
a. concrete wall, slab, foundation for a 60' long curved wall	cy	24	\$ 300.00	\$ 7,200.00
b. add brick facing and stone cap	sf	300	\$ 24.00	\$ 7,200.00
c. optional lighting and electric service	ls	1	\$ 8,000.00	\$ 8,000.00
d. landscaping	ls	1	\$ 7,000.00	\$ 7,000.00
e. fountain	ls	1	\$ 8,000.00	\$ 8,000.00
f. waterfall	ls	1	\$ 15,000.00	\$ 15,000.00
g. electric service	ls	1	\$ 2,400.00	\$ 2,400.00
h. plumbing and pump from lake	ls	1	\$ 5,000.00	\$ 5,000.00
Phase Total				\$ 812,850.00

Phase 3.

Component A. Boat Dock with Gazebo

a. complementary gazebo structure to the West Park area gazebo	450	sf	\$	100.00	\$	45,000.00
24' octagonal shelter and slab	200	sf	\$	20.00	\$	4,000.00
b. gangway to permanent / floating docks - 5' x 40'						
c. modular floating docks - deck, partial rails and floats and - 4' x 8' prefab sections - poles and anchorage - 12 sections	12	sections	\$	2,000.00	\$	24,000.00
d. safety equipment - hook, ring buoys, etc						
e. ADA ramp for dock to boat loading	1	ea	\$	850.00	\$	850.00
f. optional lighting and electrical service	12	fixtures	\$	400.00	\$	4,800.00
						78,650.00

Component B. Boardwalk - West Park Area Access

Item	Quantity	Unit	Price	Total
a. construct 5' wide permanent boardwalk mooring 75' out into lake from west access area pavilion, with rails and piers	375	sf	\$ 60.00	\$ 22,500.00
b. optional lighting and electrical service	6	ea	\$ 1,000.00	\$ 6,000.00
Phase Total				\$ 107,150.00

Phase 4.

Component A. Wooded Trail

	6000	1f	\$	40.00	\$	240,000.00
a. clear path, grade and install 1 mile of 6' wide trails combination of wood boardwalk, asphalt and crushed stone	6000					
b. signage - natural features and directional	20	ea	\$	60.00	\$	1,200.00
						241,200.00

Component B. Silver Creek Bridges

	2	ea	\$	\$	\$
a. pedestrian bridges over Silver Creek	2	ea	\$	6,000.00	\$ 12,000.00
					\$ 12,000.00

Component C. Outdoor Classrooms

a. clear and develop outdoor classrooms	1	\$	1,500.00	\$	1,500.00
Phase Total				\$	254,700.00

Component

a. construct boat storage building - 24' x 60'

- Phase Total

a. construct boat storage building - 24' x 60'					
b. construct concession building with cooling/heat, cabinets electric for concessions - refrigeration / tackle / snacks / beverages	1440 sf	\$	100.00	\$	144,000.00
16' x 24'					
c. connect with covered pavilion to restrooms from Phase 2	384 sf	\$	150.00	\$	57,600.00
d. outdoor patio and plaza paving - 90' x 50'	300 sf	\$	70.00	\$	21,000.00
Phase Total	2500 sf	\$	10.00	\$	25,000.00
Grand Total Construction Costs					\$ 247,600.00
Arch / Engineering fees	7%				\$ 1,452,300.00
Total Development Costs					\$ 101,661.00
					\$ 1,553,961.00

Purpose of the Plan

The Mascoutah Parks and Recreation Commission (P&RC), assisted by staff and EWR Associates, Inc., developed the Prairie Lake Park Master Plan. This plan is a "long-term" planning tool (25 years) to guide future development of Prairie Lake Park and adjacent City-owned property. The plan will assist the City in obtaining grants to fund various improvements to the park and also details several projects which may be funded through private sources as well. The Prairie Lake Park Master Plan is consistent with the Parks and Recreation component of the 2008 Mascoutah Comprehensive Plan Update.

Planning Recommendations

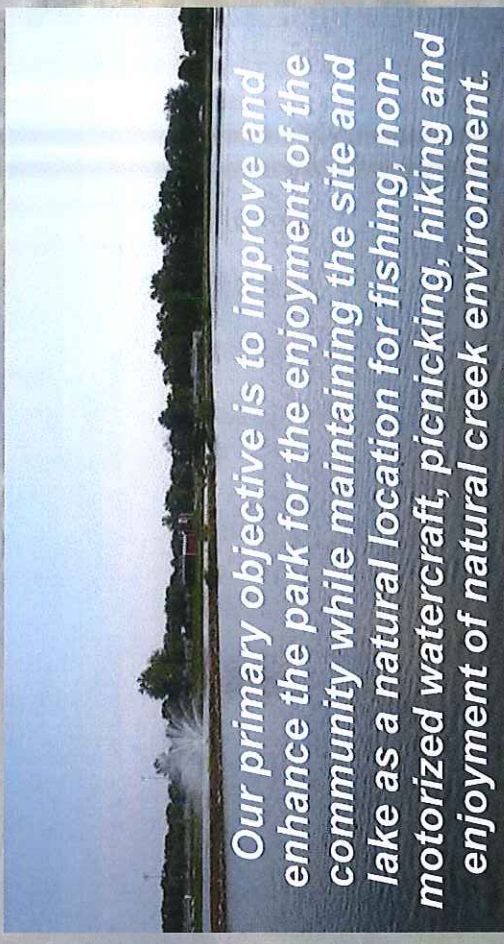
The Commission's primary objective is *"to improve and enhance Prairie Lake Park for the enjoyment of the community while maintaining the site and lake as a natural location for fishing, non-motorized watercraft, picnicking, hiking and enjoyment of the natural creek environment."* Several projects recommended in the plan may cost a substantial amount of money, but these park improvements would be completed in several phases and as resources become available.

As drafted, the plan is a combination of eighteen to 24 separate but inter-related design components that can be initiated and completed separately, responsive to funding sources, donated materials, and volunteer labor. Also project elements could be broken into phases. For example, the shore line stabilization is a very large cost component which will probably be developed in phases. It is possible that more than one method will be used depending on the location and the anticipated function of the shoreline. Another project, the Boating Complex is really 3 activity centers (the boat store building, the restrooms, and a snack bar/concessions building), and would be treated as 3 projects, only to be implemented if and when funding and Council approvals were achieved. Lastly, the west entry monument sign would be reduced in scope to reflect the park signage, not a "City entry." This is responsive to the fact that the City entry will be eventually further west of the park location.

This plan will be revisited from time to time by staff and City officials as improvements are completed, but critical to the plan's success is implementing the plan as it is "overall" represented. Adoption of the Prairie Lake Park Plan does not commit the City to any future expenditures.

Project Scope / Targeted Goals

- Enhance amenities, beauty, function and condition of the existing park
- Add features to enhance public use and enjoyment
 - Walking / Hiking / Bike trails
 - Floating dock
 - Boardwalk / Lake walk / platform
 - Silver Creek elevated walking platform and overlook
 - Restroom facilities
 - Concession Facilities
 - Boat / Canoe / Kayak rental / storage facility
- Parking
- Picnic Area
- Landscape improvements
- Gazebo
- Improved boat ramp
- Access under Highway 177 to connect park with School



Our primary objective is to improve and enhance the park for the enjoyment of the community while maintaining the site and lake as a natural location for fishing, non-motorized watercraft, picnicking, hiking and enjoyment of natural creek environment.

- Develop site as a trail head for Bicyclist and Hikers
- Create outdoor classroom locations
- Consider maintenance and stabilization of shore
- Park is not planned to be a destination for large groups or events.

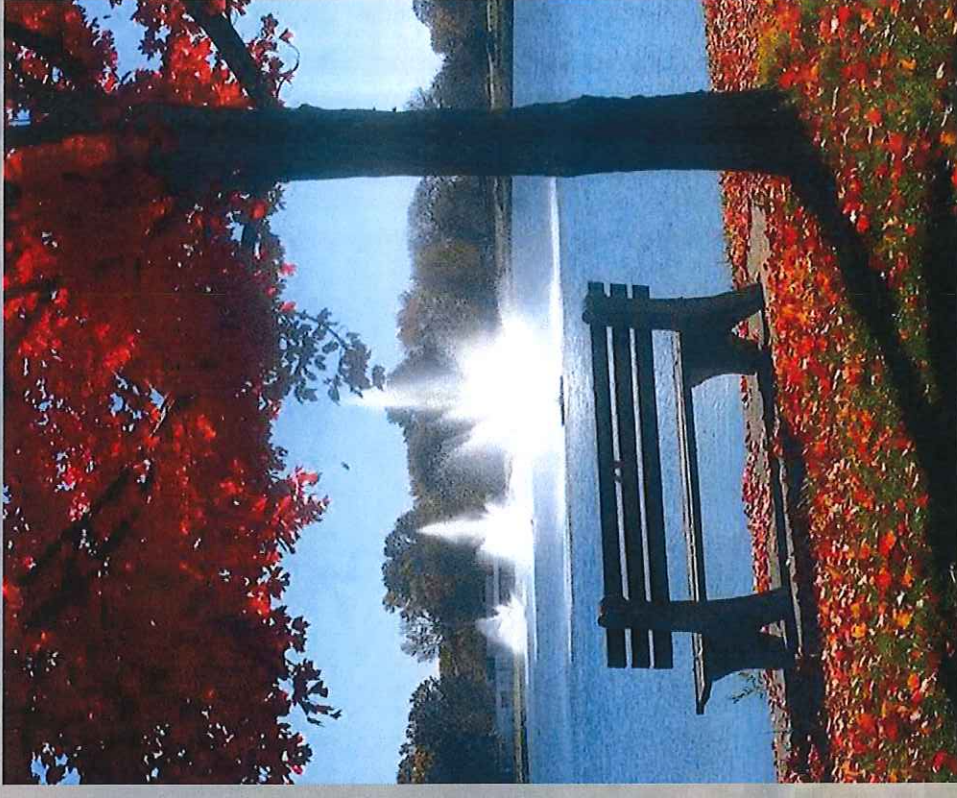
City of Mascoutah, Illinois

Prairie Lake Park Master

Project Scope / Targeted Goals

Design approach

- Capitalize on location of park to create opportunity to welcome visitors with a new entrance to Mascoutah
- Construct additional parking and add a new gazebo / pavilion at west of park area to encourage interaction with Silver Creek
- Improve and enhance walking paths around lakes
- Construct new trails into Silver Creek woods to expand use and enjoyment of park
- Construct new boat dock
- Construct new boat storage, rental, restroom and refreshment facility
- Construct new boardwalk onto lake to allow visitors closer access to the water
- Improve shoreline with erosion control methods



A collage of four photographs showing various summer activities. The top-left photo shows a person fishing from a pier. The top-right photo shows a person fishing from a boat. The bottom-left photo shows a person fishing from a dock. The bottom-right photo shows a person fishing from a boat.



Winter



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Area of
Study



High School

Prairie Lake Park

Golf Course

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Primary Park Area Appurtenant Park Area

3/16" = approx. 100'

734 ft



City of Mascoutah, Illinois
Prairie Lake Park Master

Existing areas of Concern



Existing divider not
pedestrian friendly



Existing trails in
woods need to be
improved and
possibly accessible

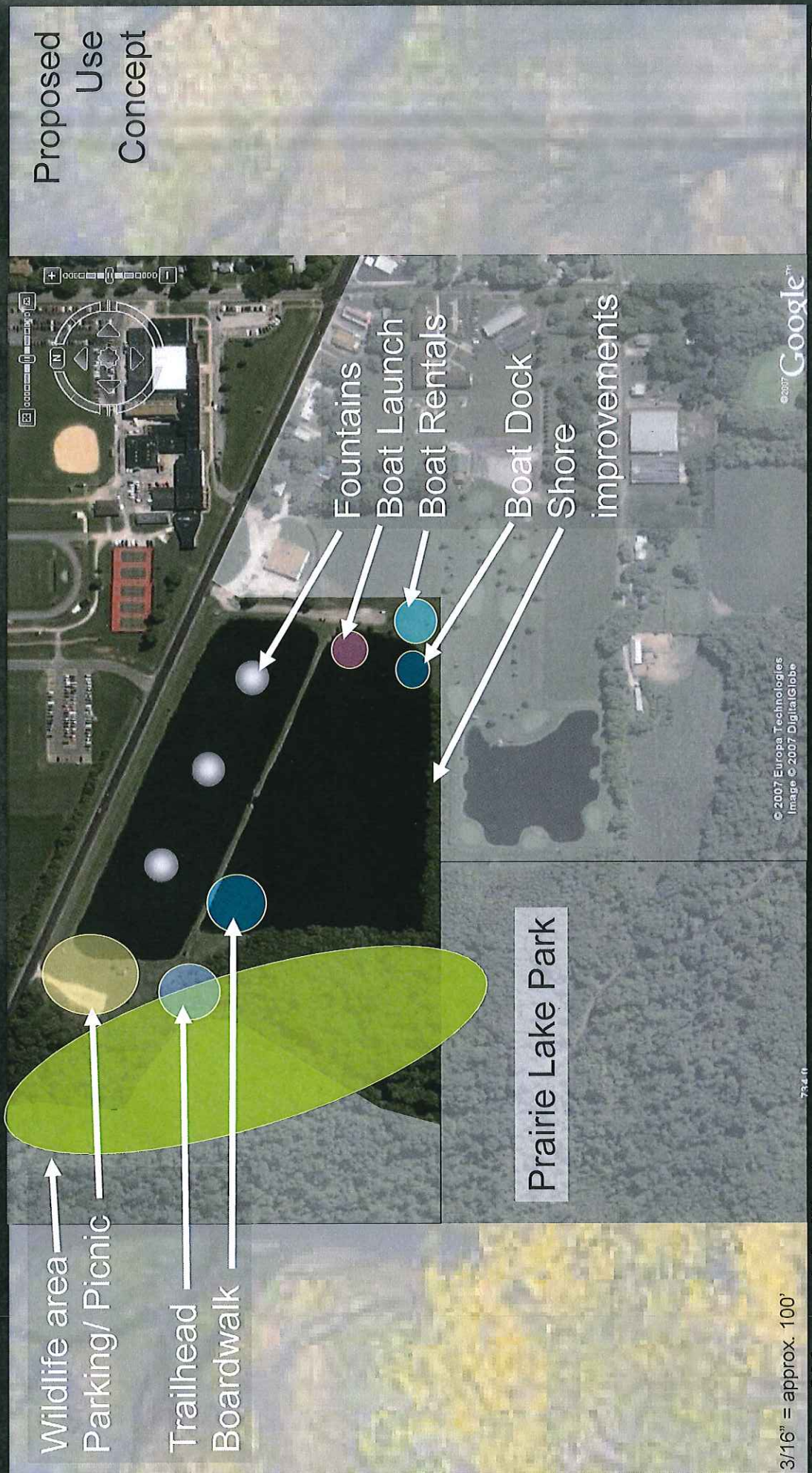


Existing Beauty of
Silver Creek area
not generally
accessible



Existing Shoreline
requires
maintenance,
protection and repair

City of Mascoutah, Illinois
Prairie Lake Park Master



Proposed
Use
Concept

Wildlife area
Parking/ Picnic
Trailhead
Boardwalk

Fountains
Boat Launch
Boat Rentals
Boat Dock
Shore
improvements

Prairie Lake Park

3/16" = approx. 100'

7340

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City of Mascoutah, Illinois
Prairie Lake Park Master



Preliminary
Use Concept

Mascoutah
entrance
Pavilion and
parking
Boardwalk
Waking paths
Boat launch
Parking
Boat dock
Boat rental/
concession
Shore
improvements

Prevailing
Winter Wind

Bridge

Stream
crossing

Woods trails

Future trails

Outdoor
classroom
areas

Prevailing
Summer Wind

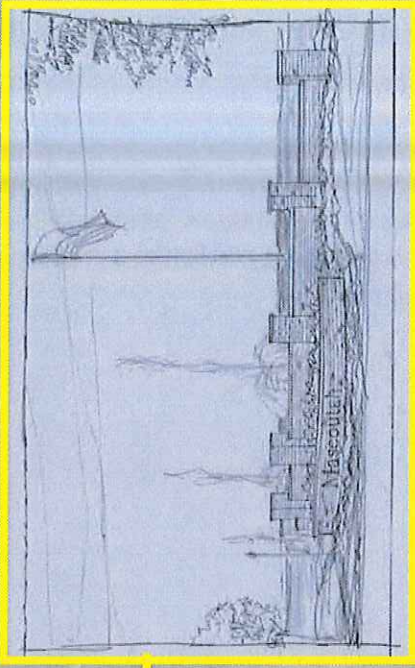
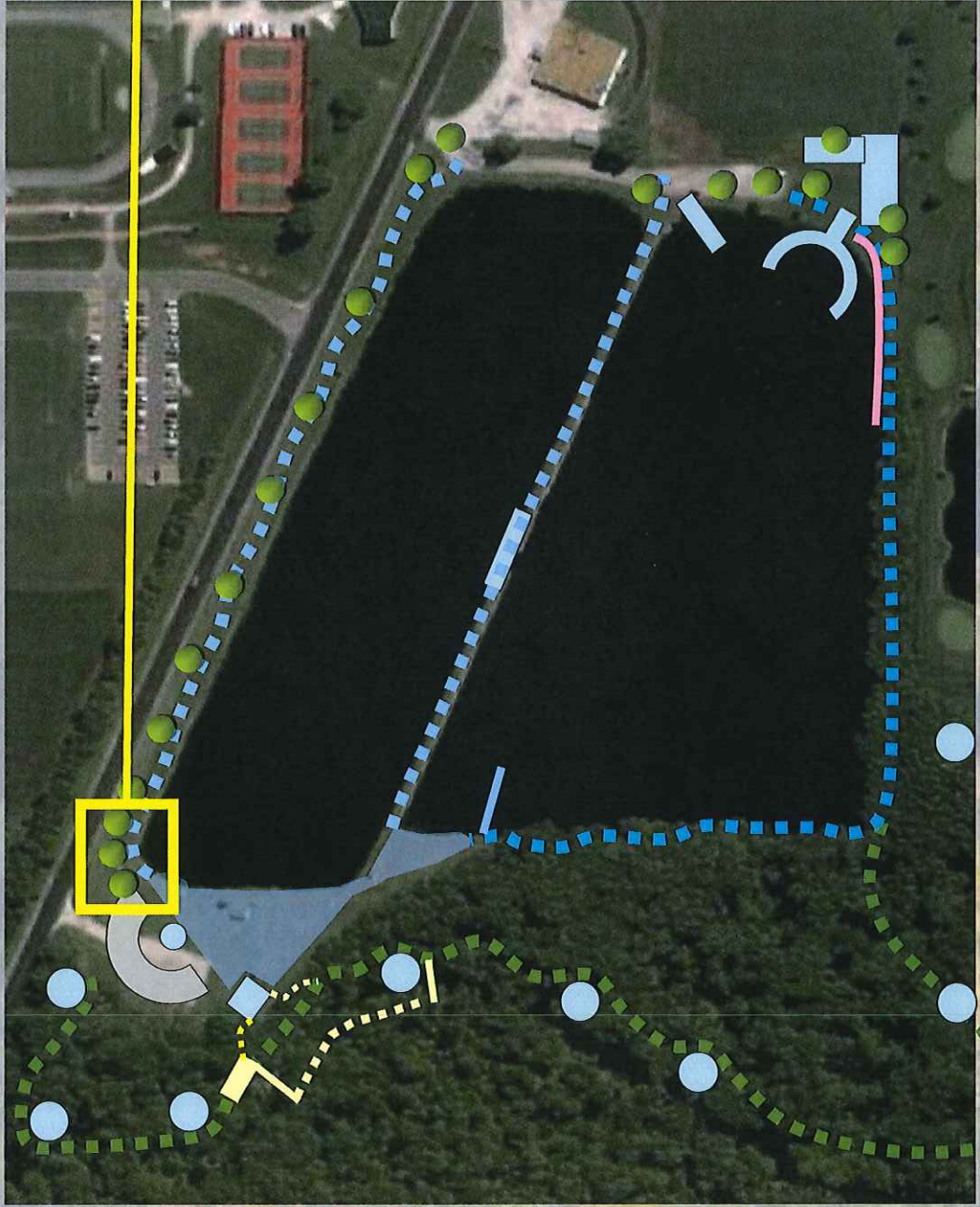
3/16" = approx. 100'

City of Mascoutah, Illinois
Prairie Lake Park Master

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Capitalize on location of park to create opportunity to welcome visitors with a new entrance to Mascoutah

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Prairie Lake Park Master

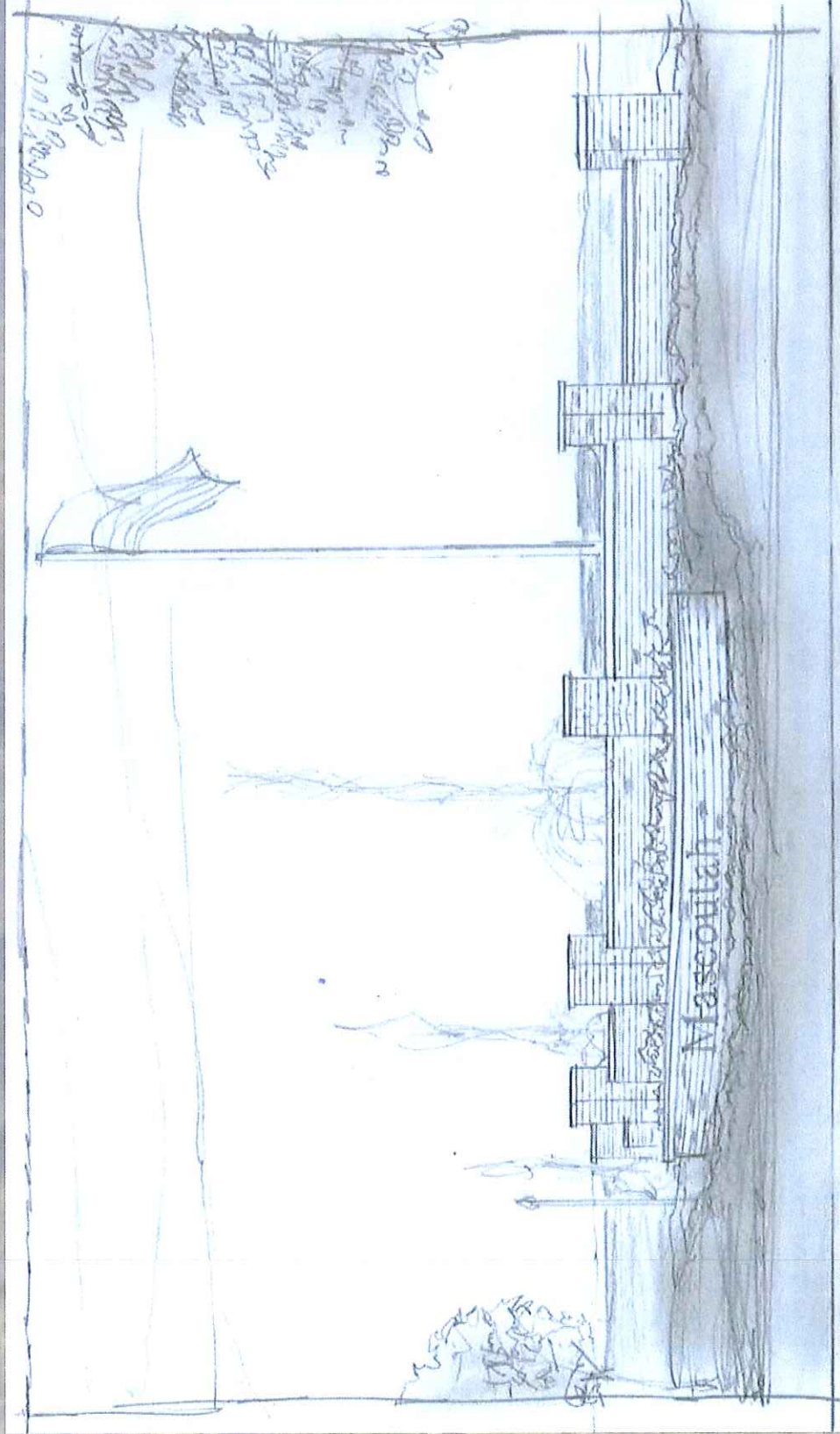
Vignettes

The park is the initial welcoming feature to the West Entrance to Mascoutah

Creating a significant identity feature

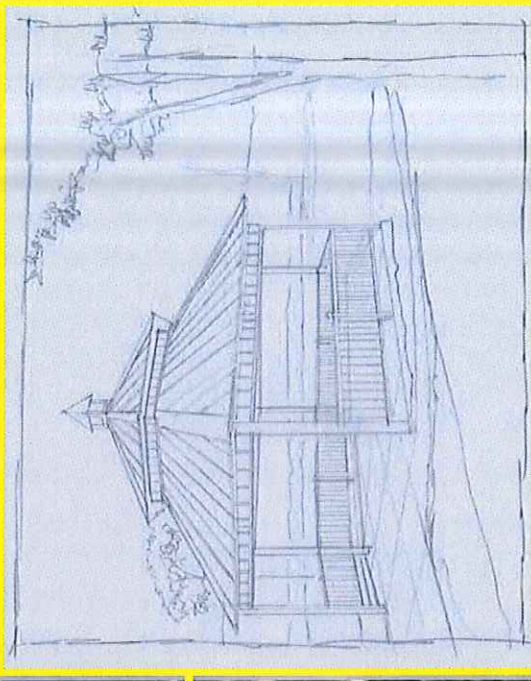
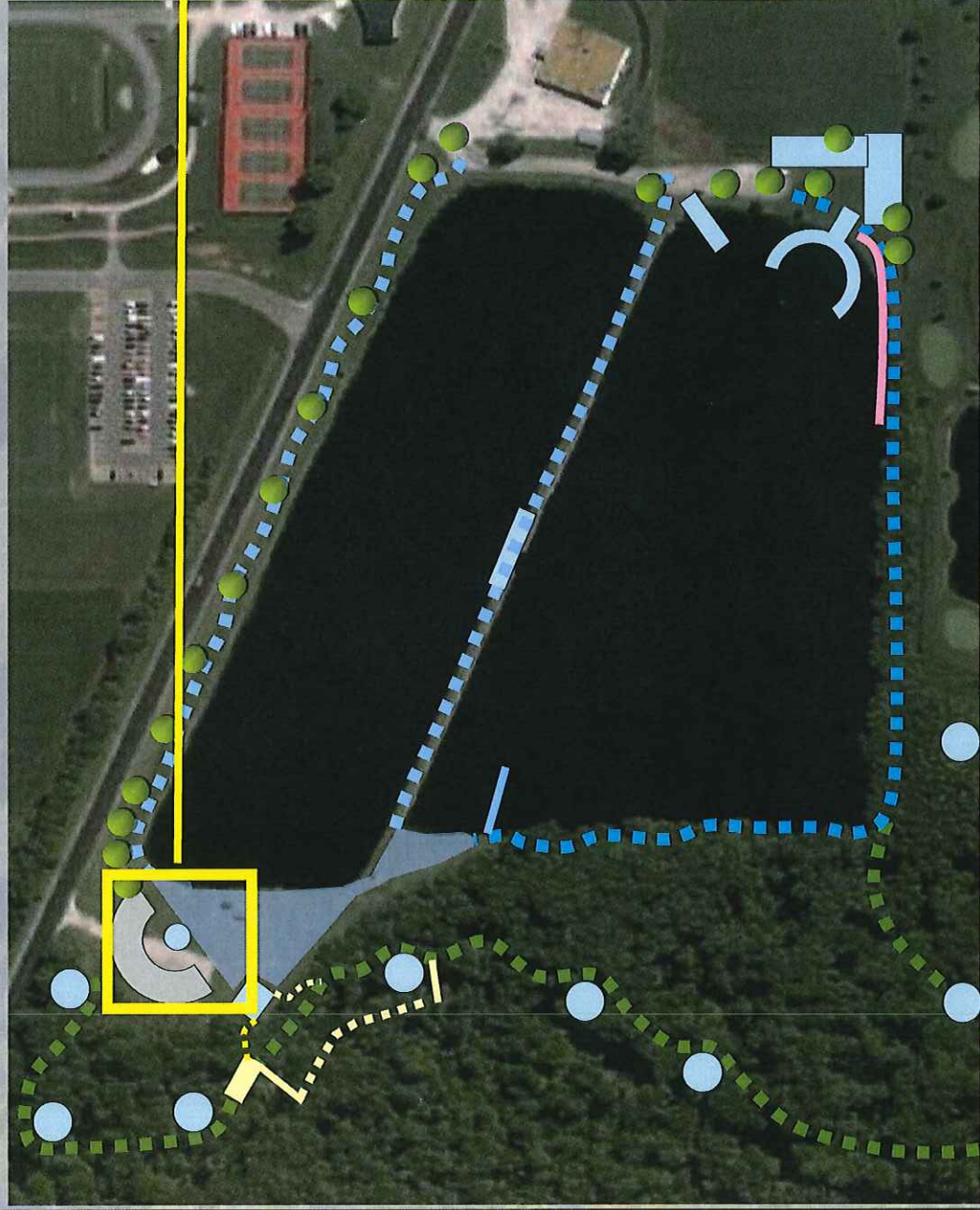
enhances the entrance

enhances community identity



City of Mascoutah, Illinois
Prairie Lake Park Master

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Construct additional parking
and add a new gazebo /
pavilion at west of park area
to encourage interaction with
Silver Creek

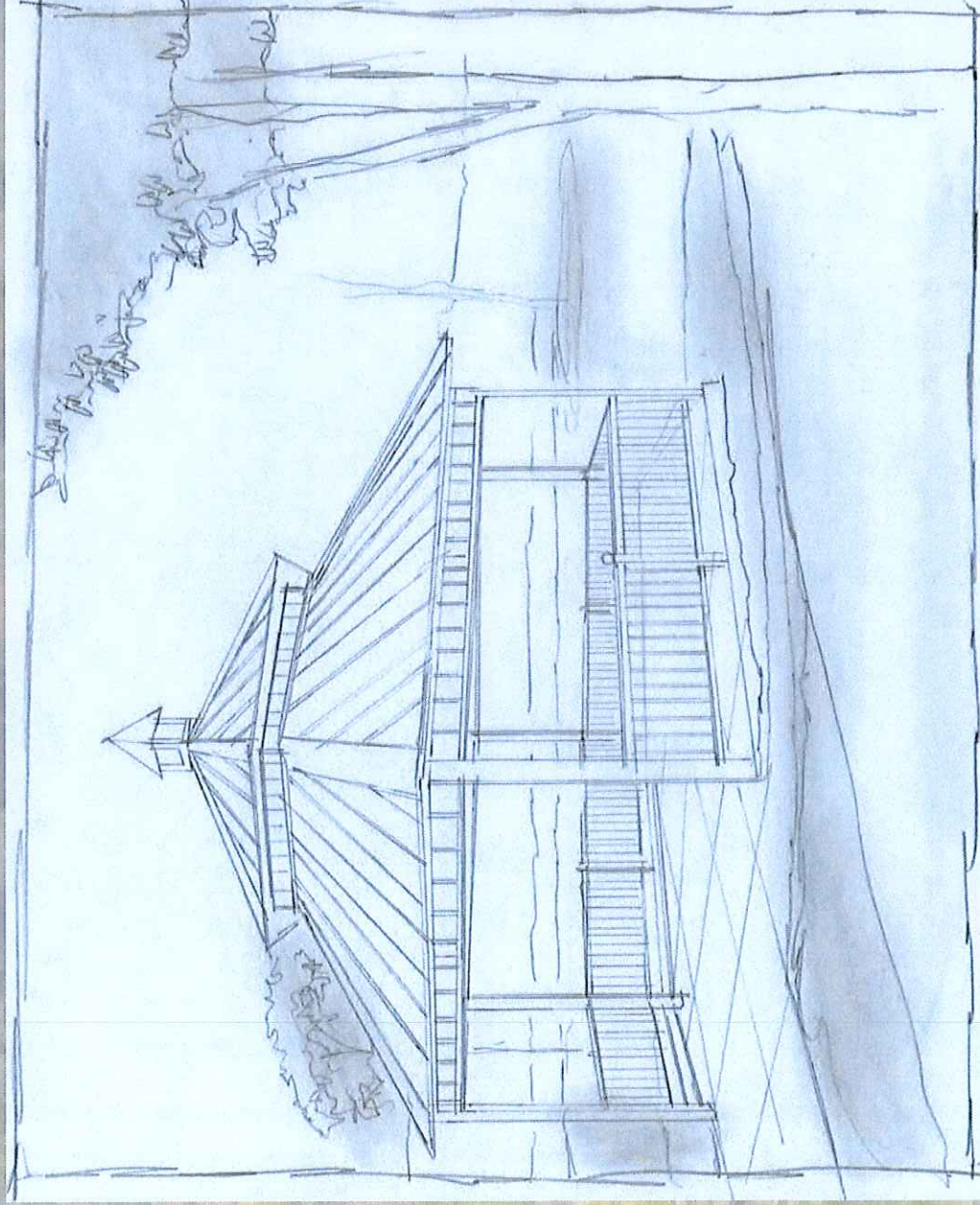
City of Mascoutah, Illinois
Prairie Lake Park Master

Vignettes

Gazebos as Pavilions

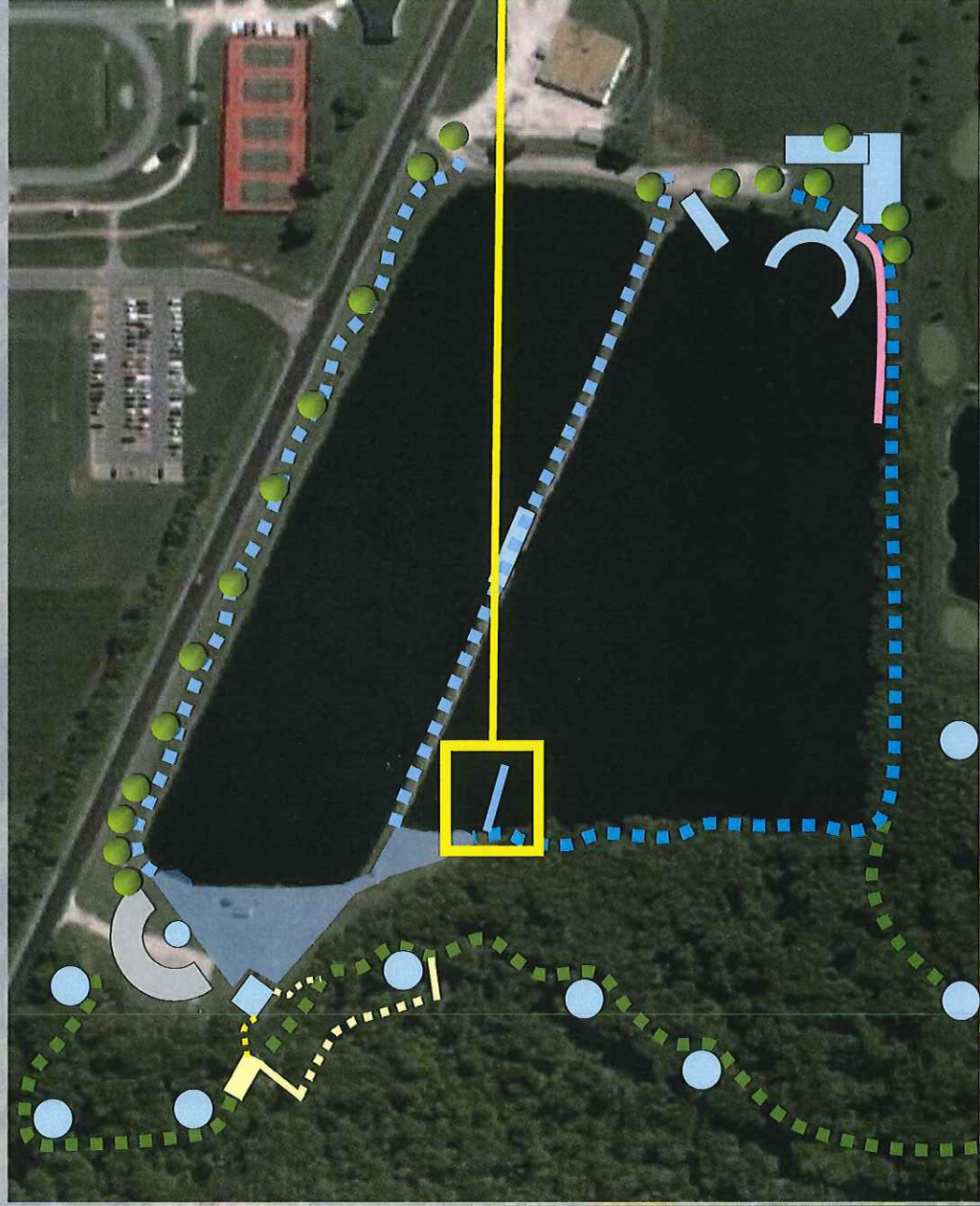
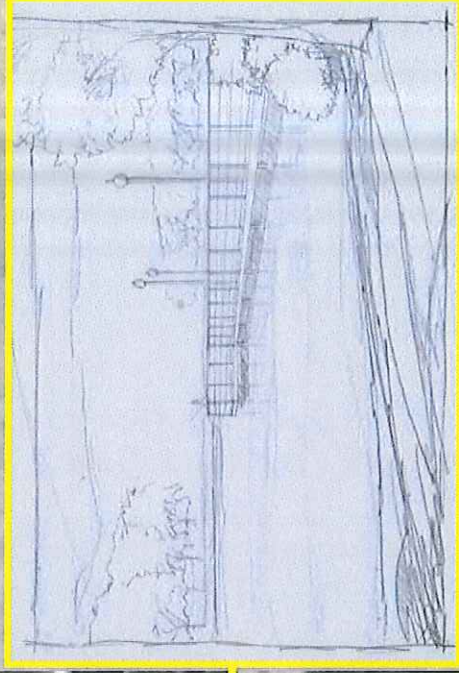
Establish a design theme
for park

Provide setting for picnics
and small gatherings



City of Mascoutah, Illinois
Prairie Lake Park Master

*Construct new boardwalk
onto lake to allow visitors
closer access to the water*



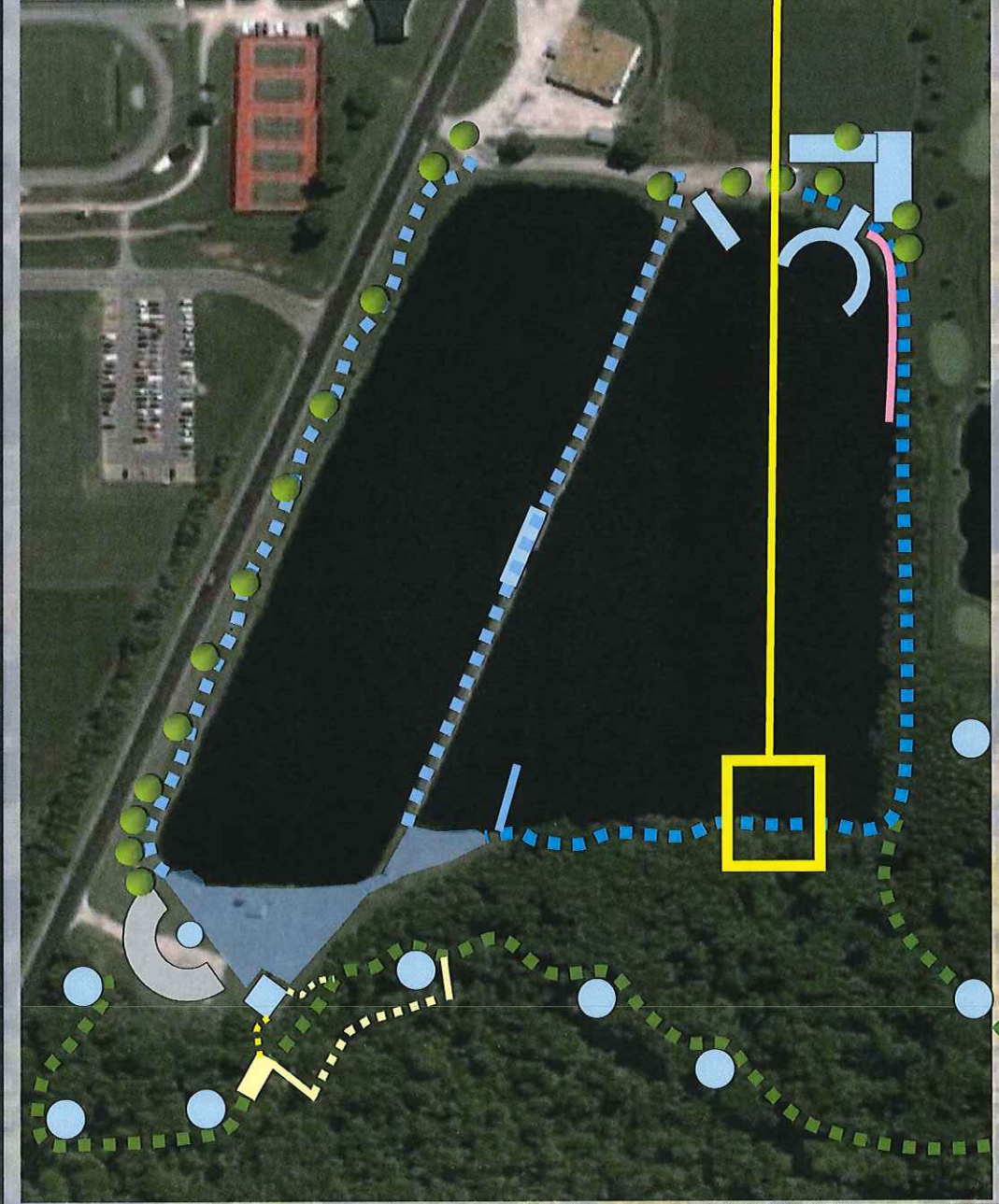
City of Mascoutah, Illinois
Prairie Lake Park Master



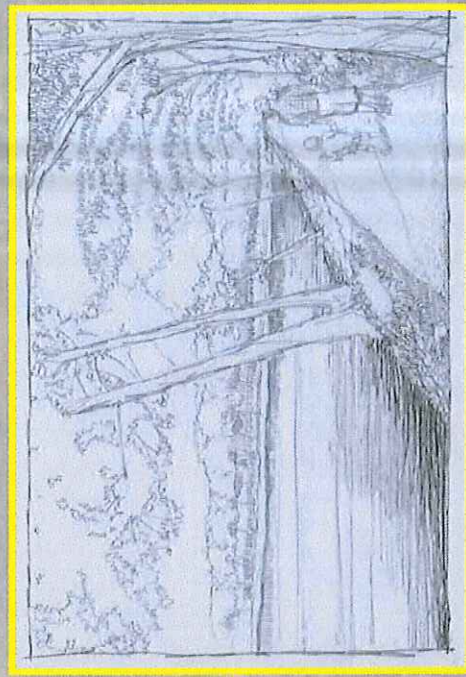
Vignettes

Improvements for the shoreline can also be tied into lake features to enhance the beauty and use of the lakes

City of Mascoutah, Illinois
Prairie Lake Park Master

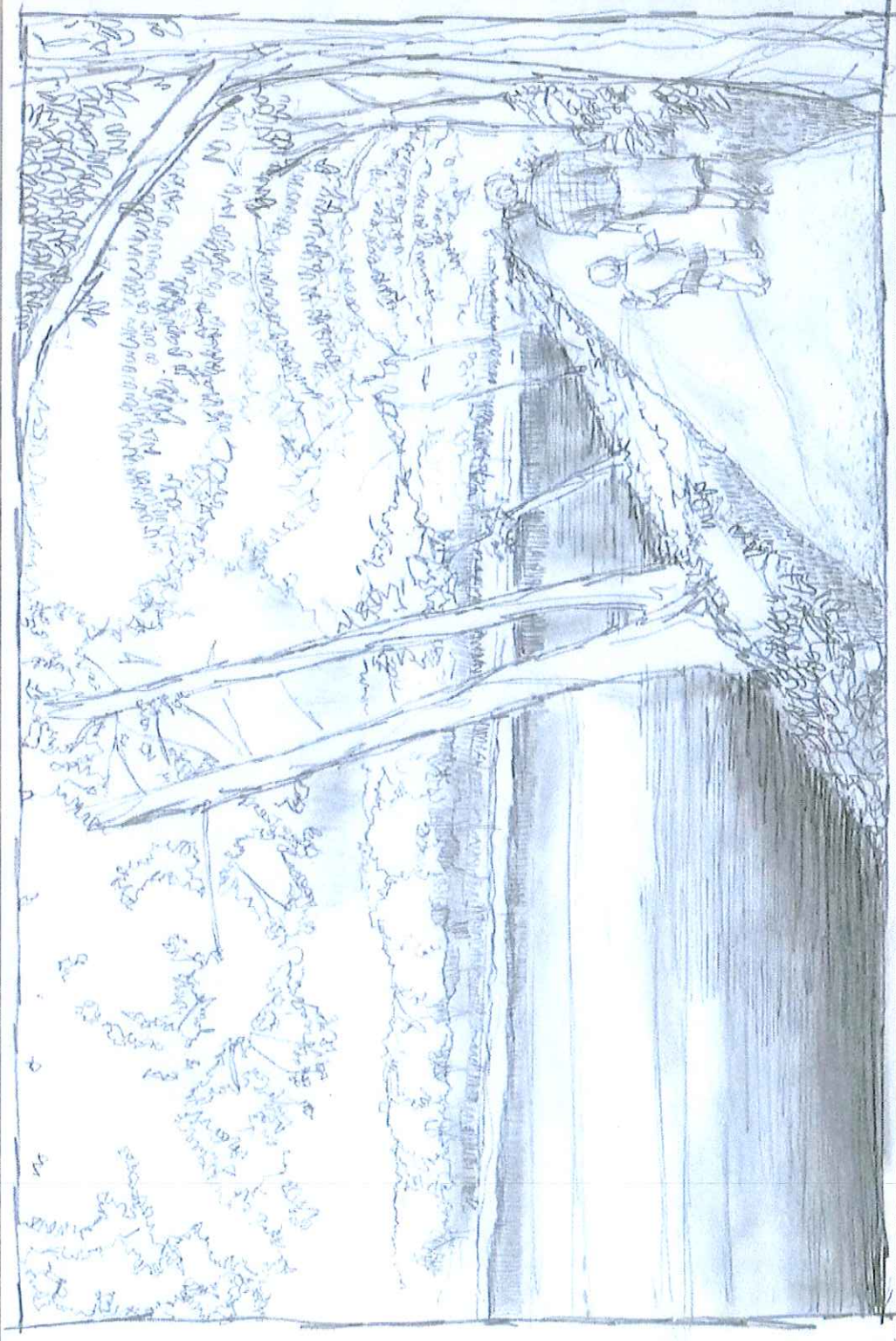


Improve and enhance walking paths around lakes

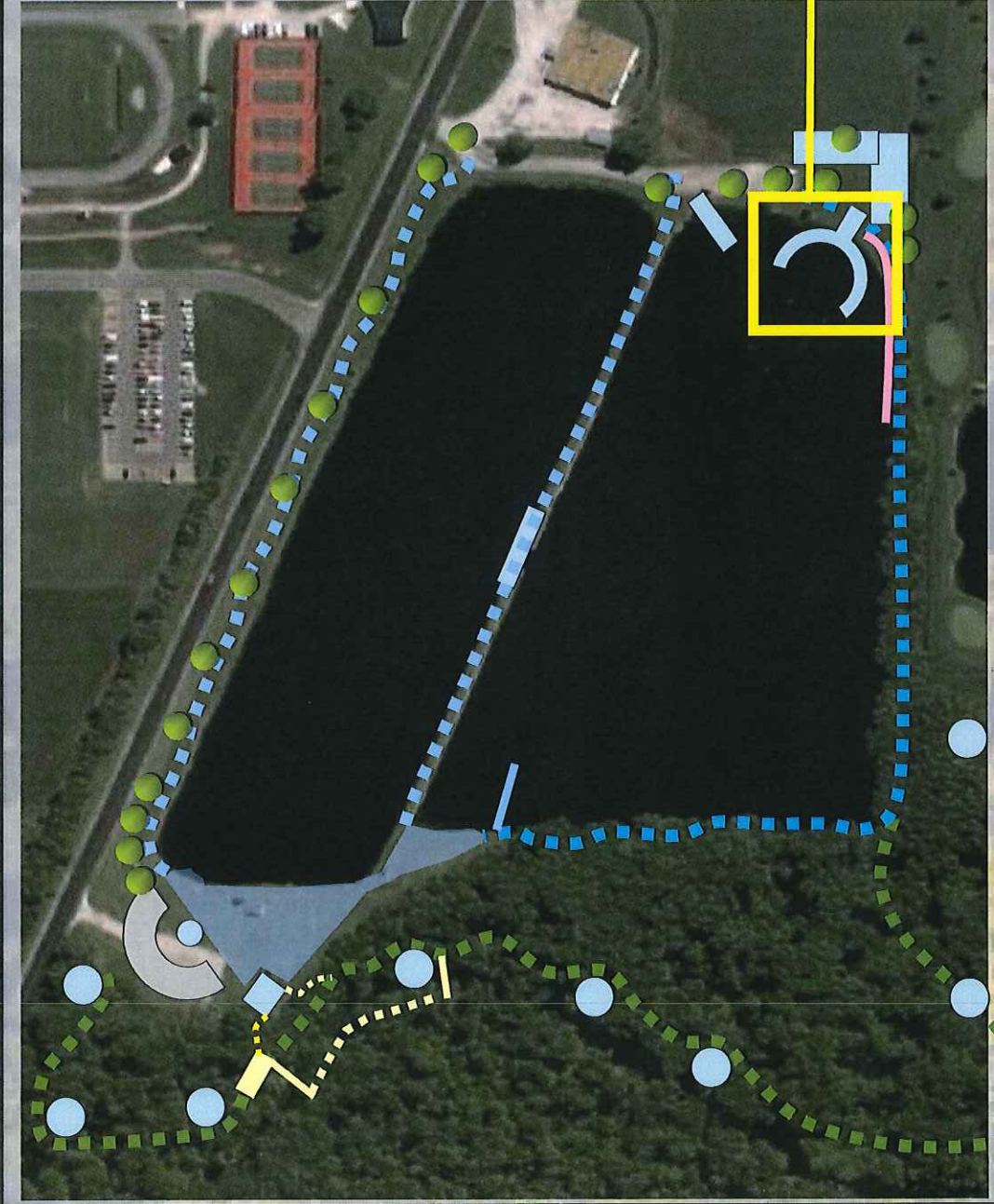


Vignettes

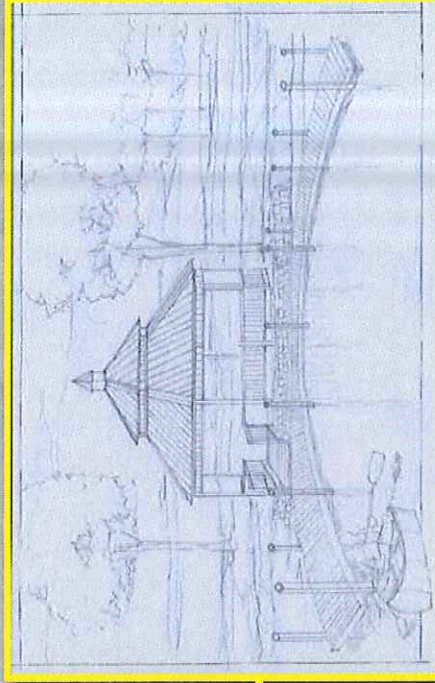
Improved
walking path
around lakes
For everyone to
enjoy.



City of Mascoutah, Illinois
Prairie Lake Park Master



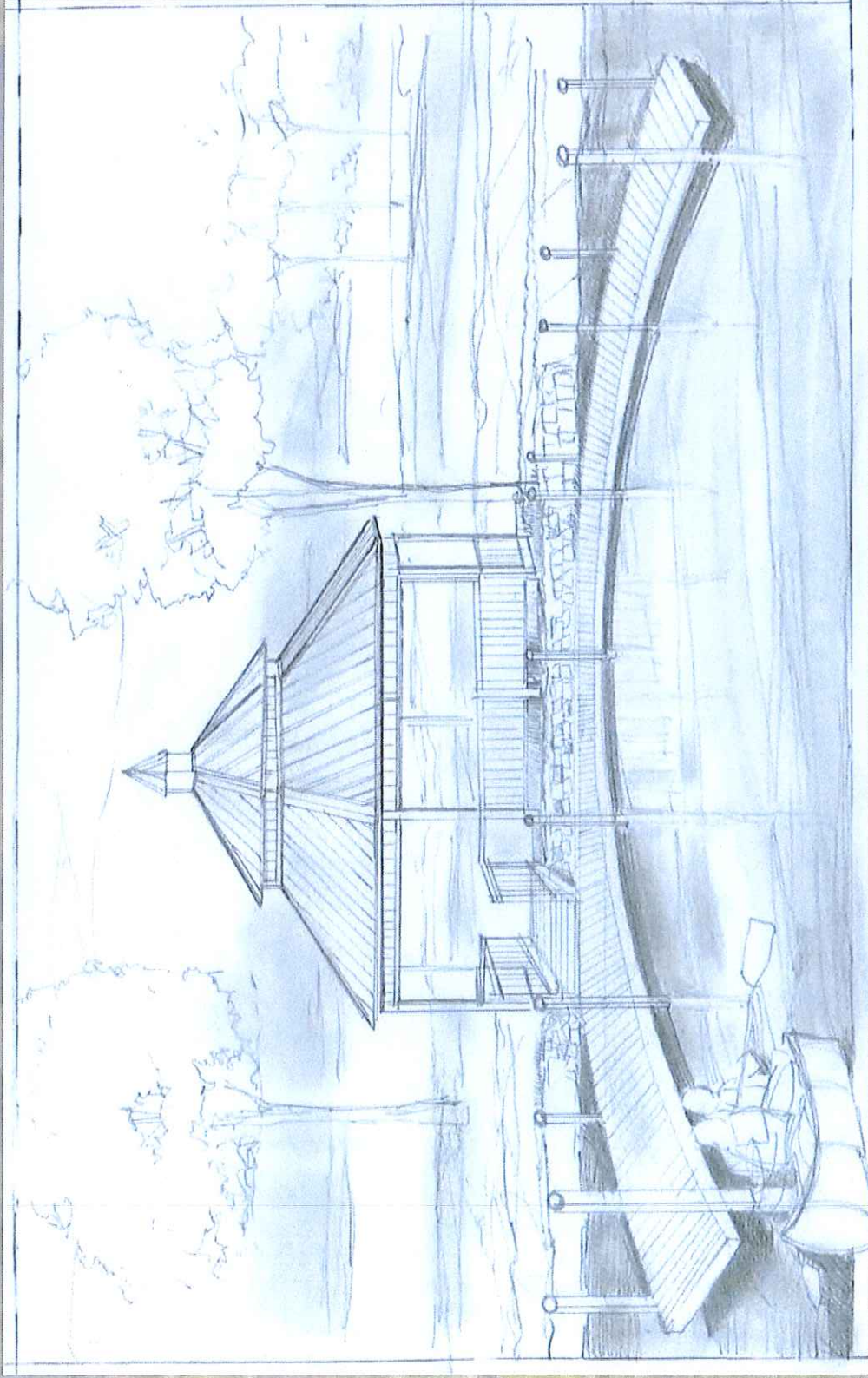
Construct new boat dock



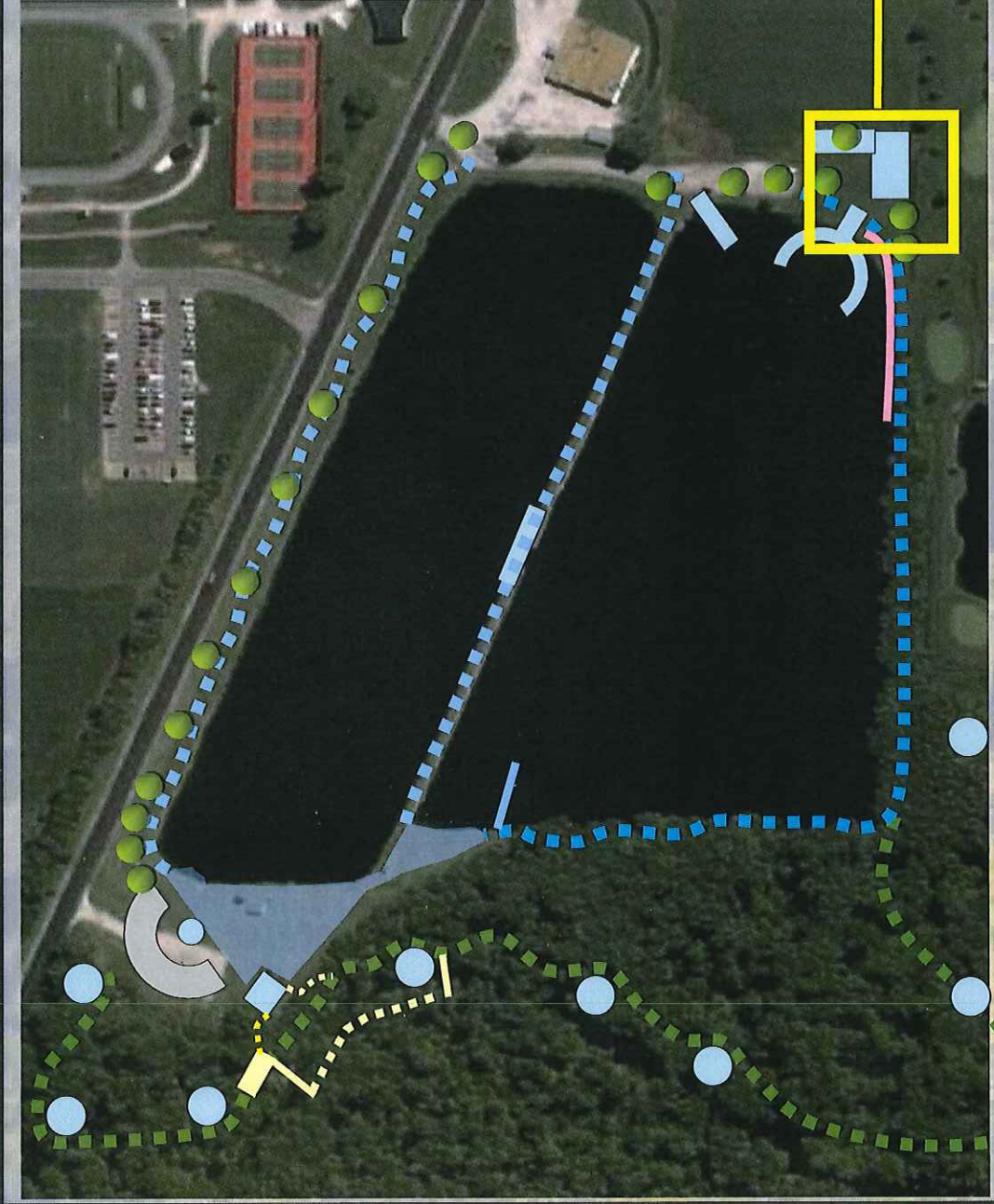
City of Mascoutah, Illinois
 Prairie Lake Park Master

Vignettes

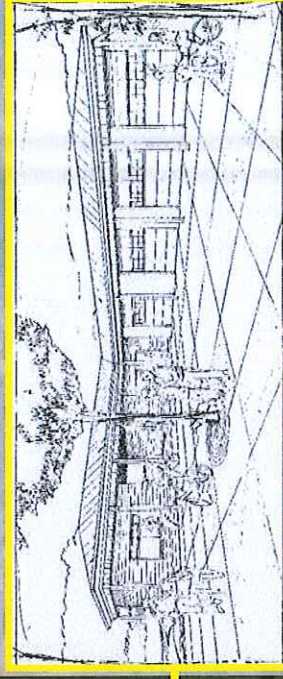
The boat launch carries on Gazebo design theme and allows visitors to closer access to the water.



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Prairie Lake Park Master



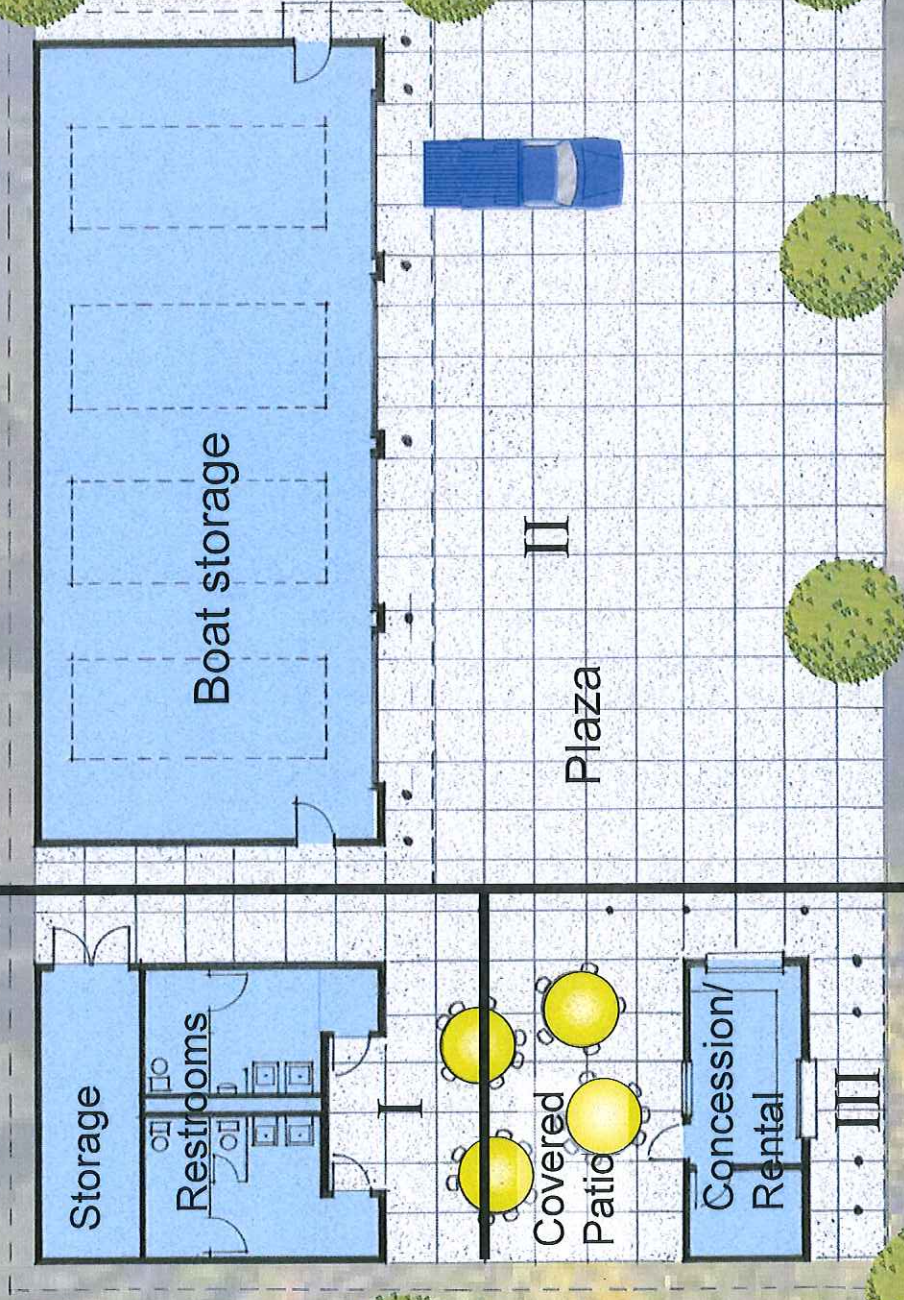
Construct new boat rental
Concession
Restroom facility



City of Mascoutah, Illinois
Prairie Lake Park Master

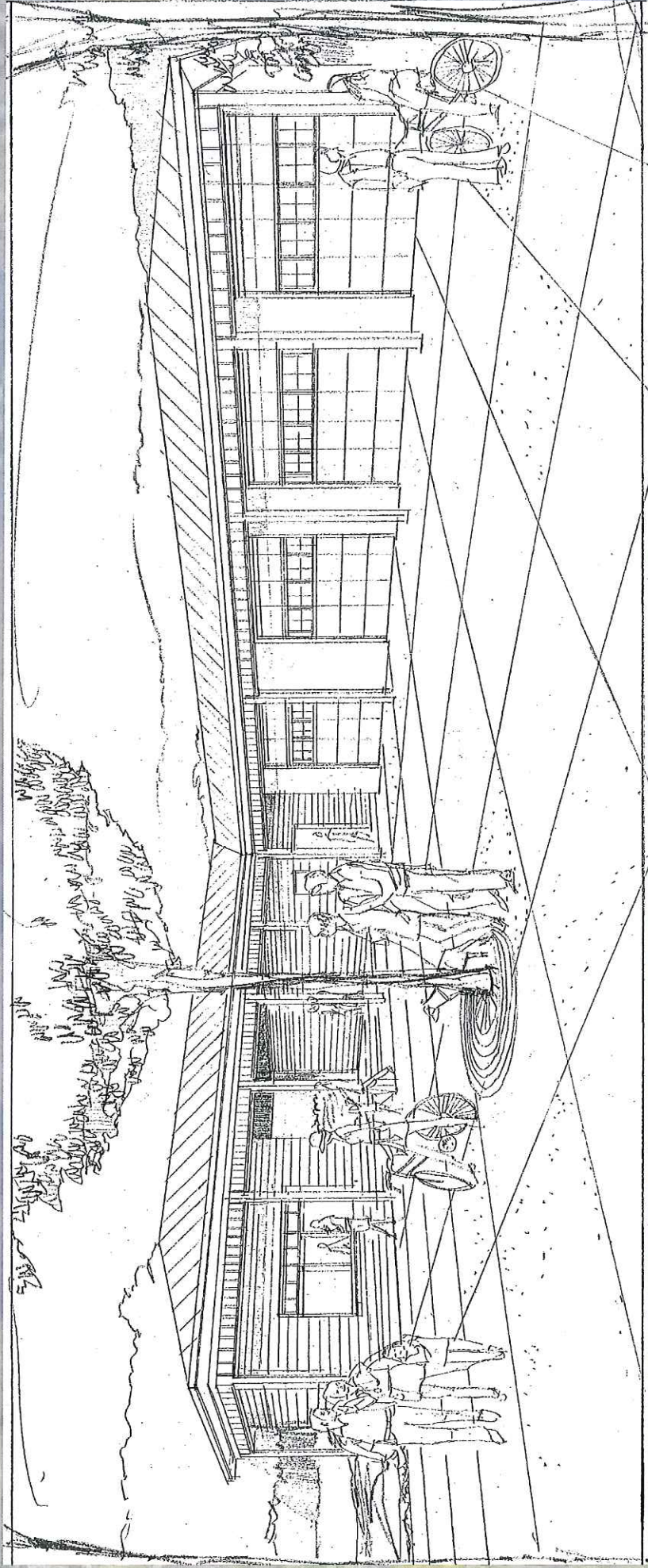
Vignettes

Developing the boat storage, boat rental, restrooms and concession features provides an opportunity to create a welcoming place for all park users. Large overhangs and covered breezeways provide shelter and a place for gathering.

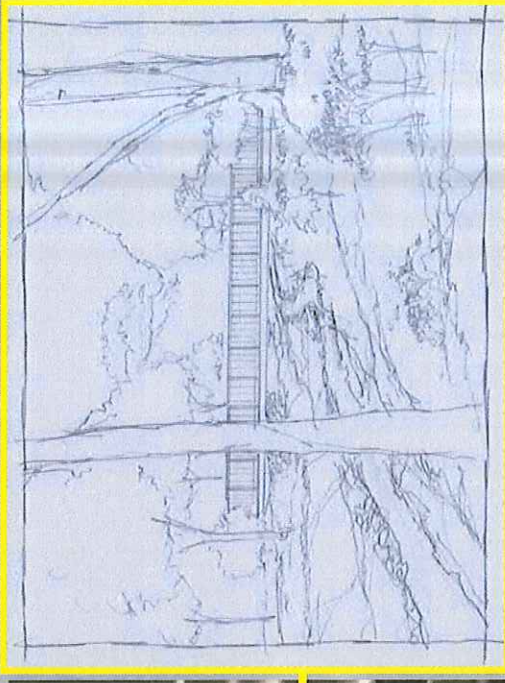
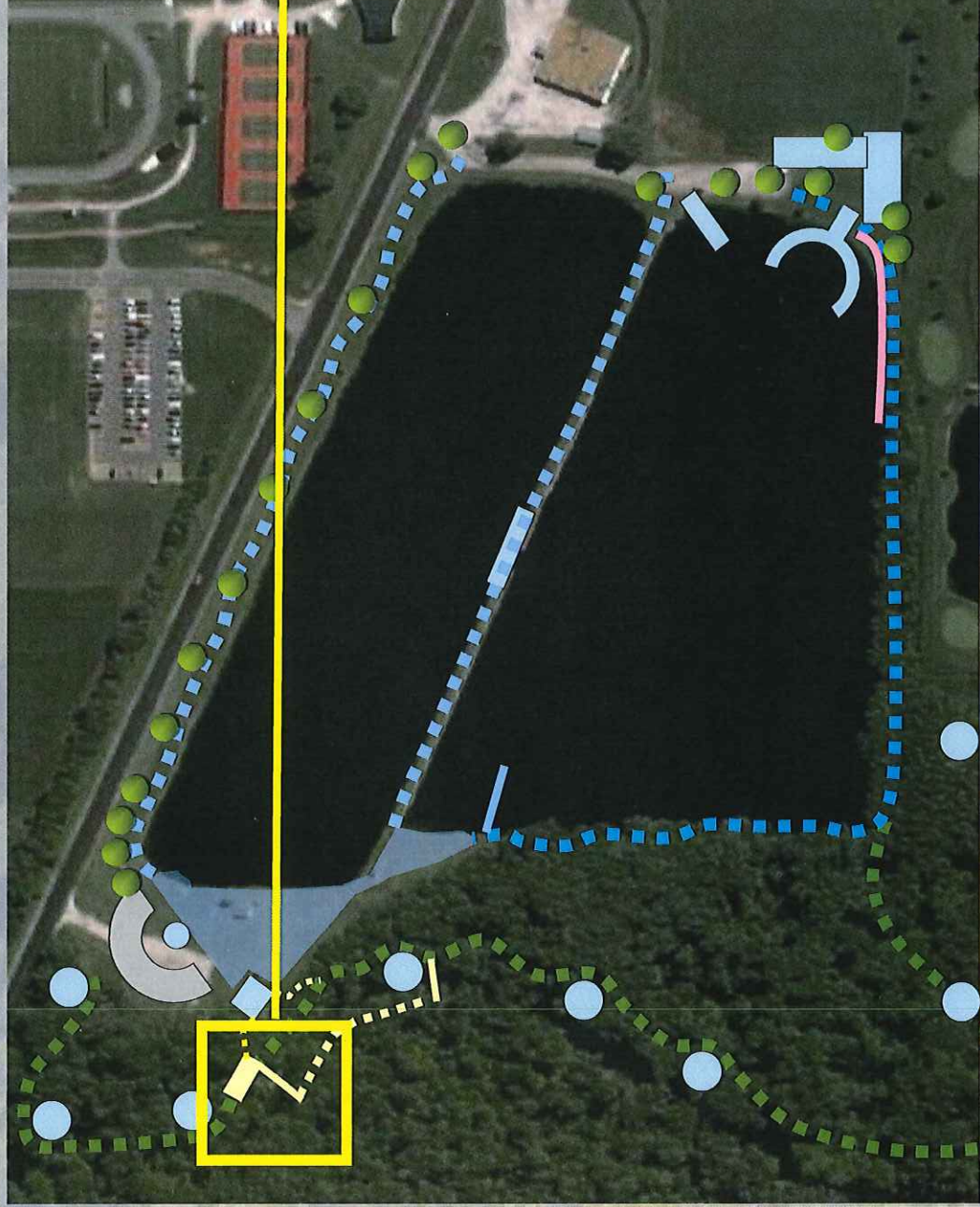


Phasing Boating Complex

Vignettes



City of Mascoutah, Illinois
Prairie Lake Park Master

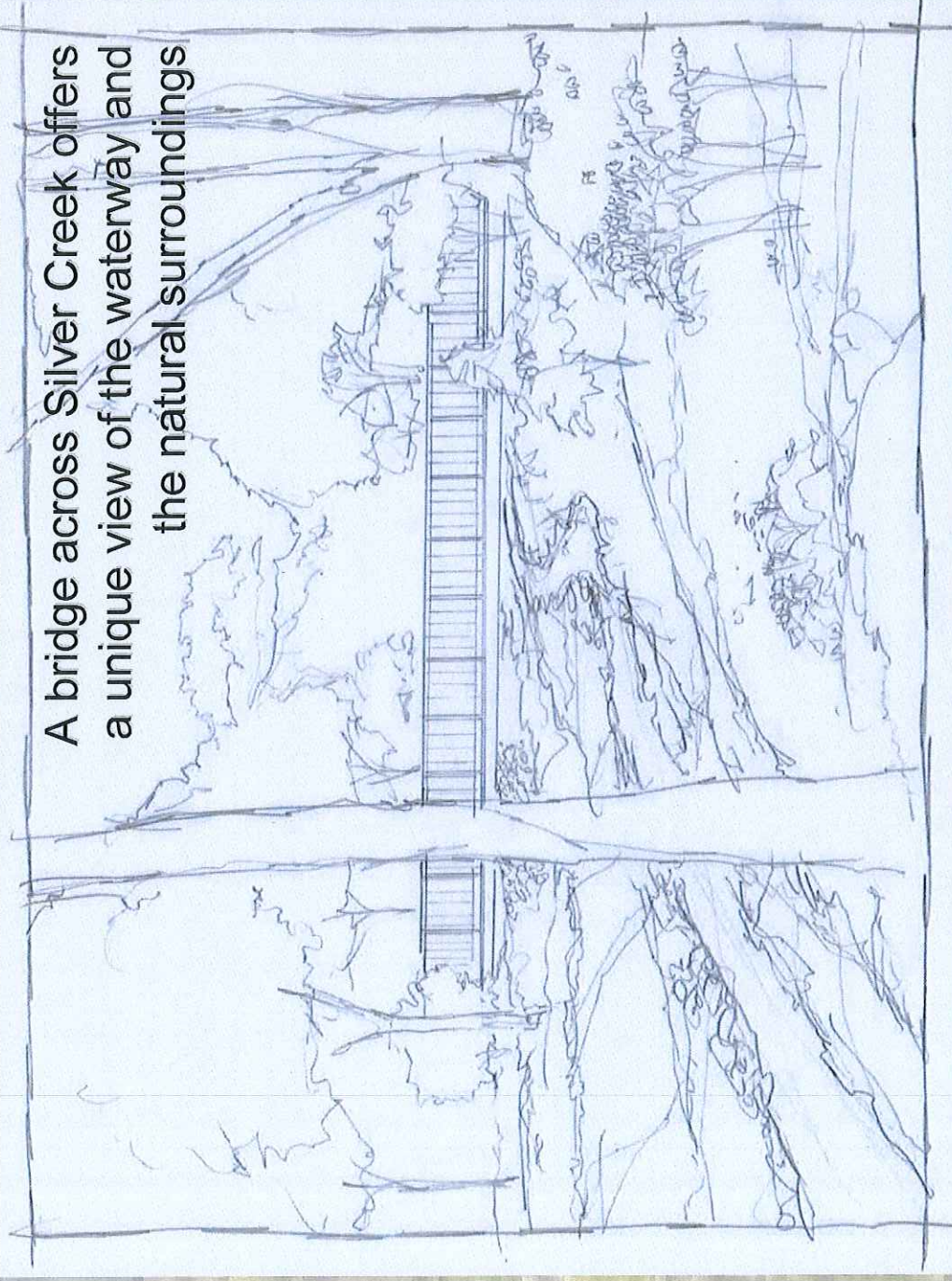


Construct new trails into
Silver Creek woods to
expand use and
enjoyment of park

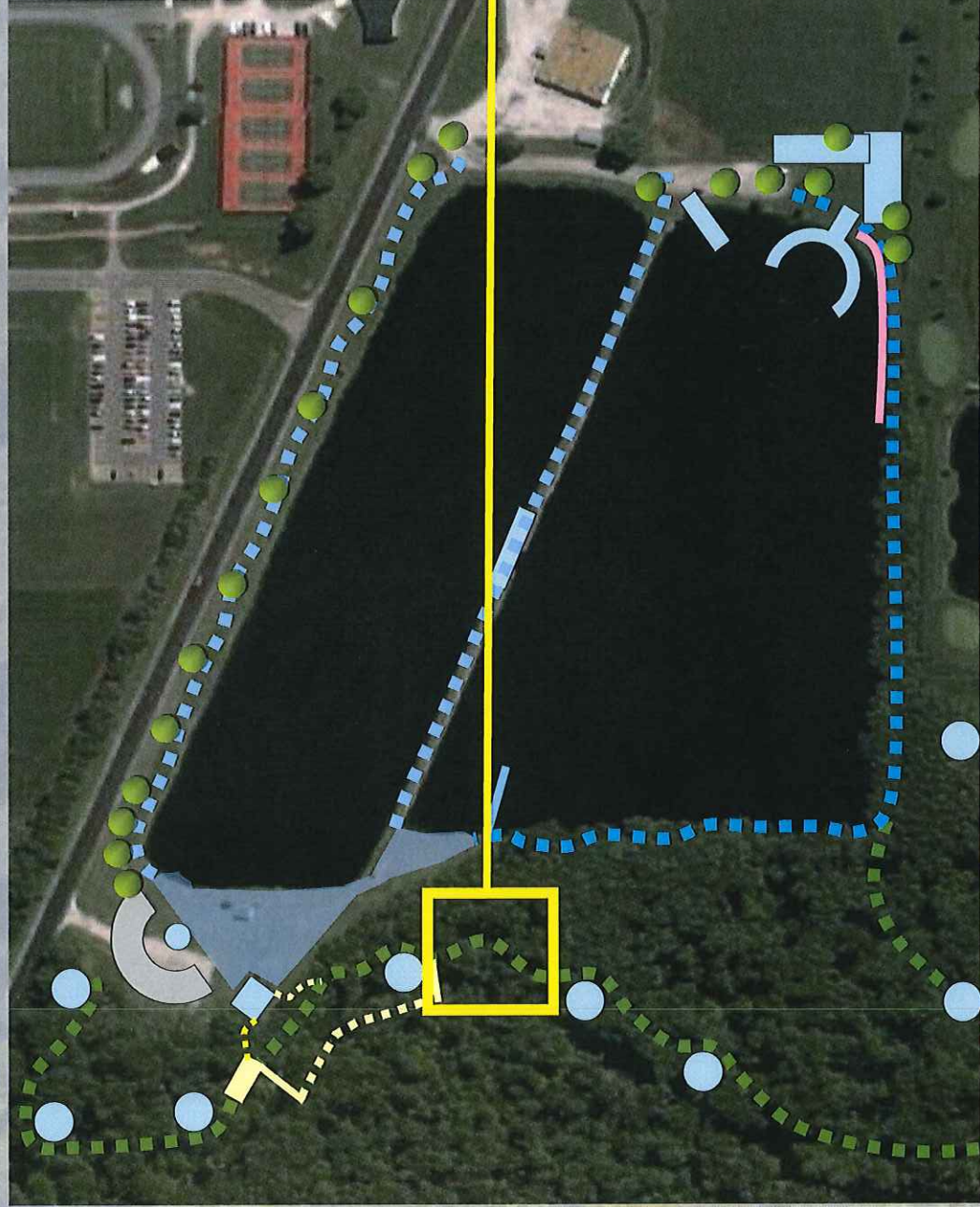
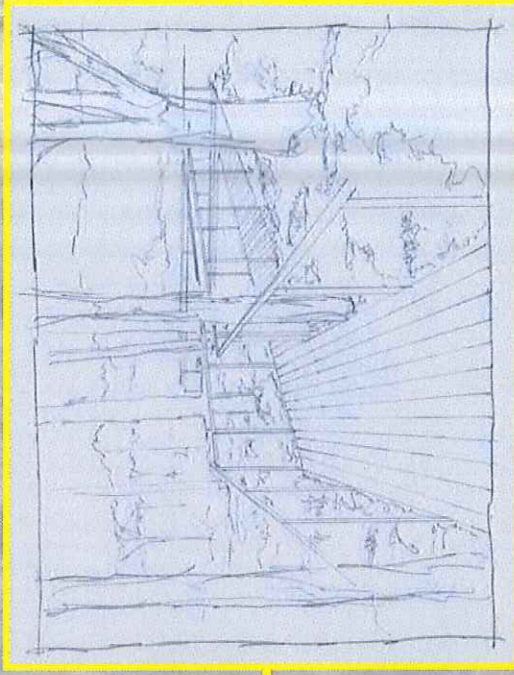
City of Mascoutah, Illinois
Prairie Lake Park Master

Vignettes

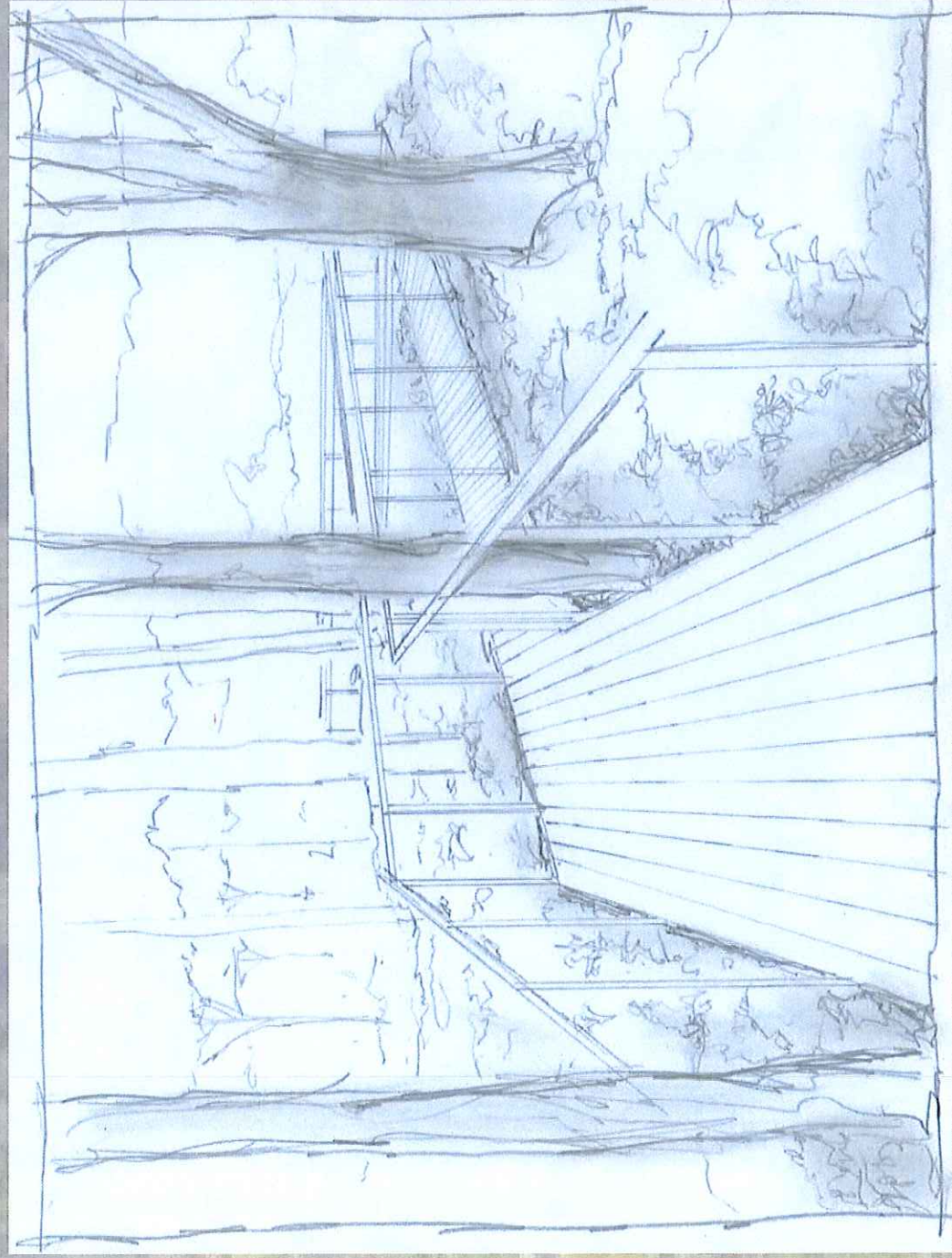
A bridge across Silver Creek offers a unique view of the waterway and the natural surroundings



Construct new trails into
Silver Creek woods to
expand use and
enjoyment of park



City of Mascoutah, Illinois
Prairie Lake Park Master



Vignettes

Walkways through the
woods will tie the lake
park setting to the
natural forest
environment

City of Mascoutah, Illinois
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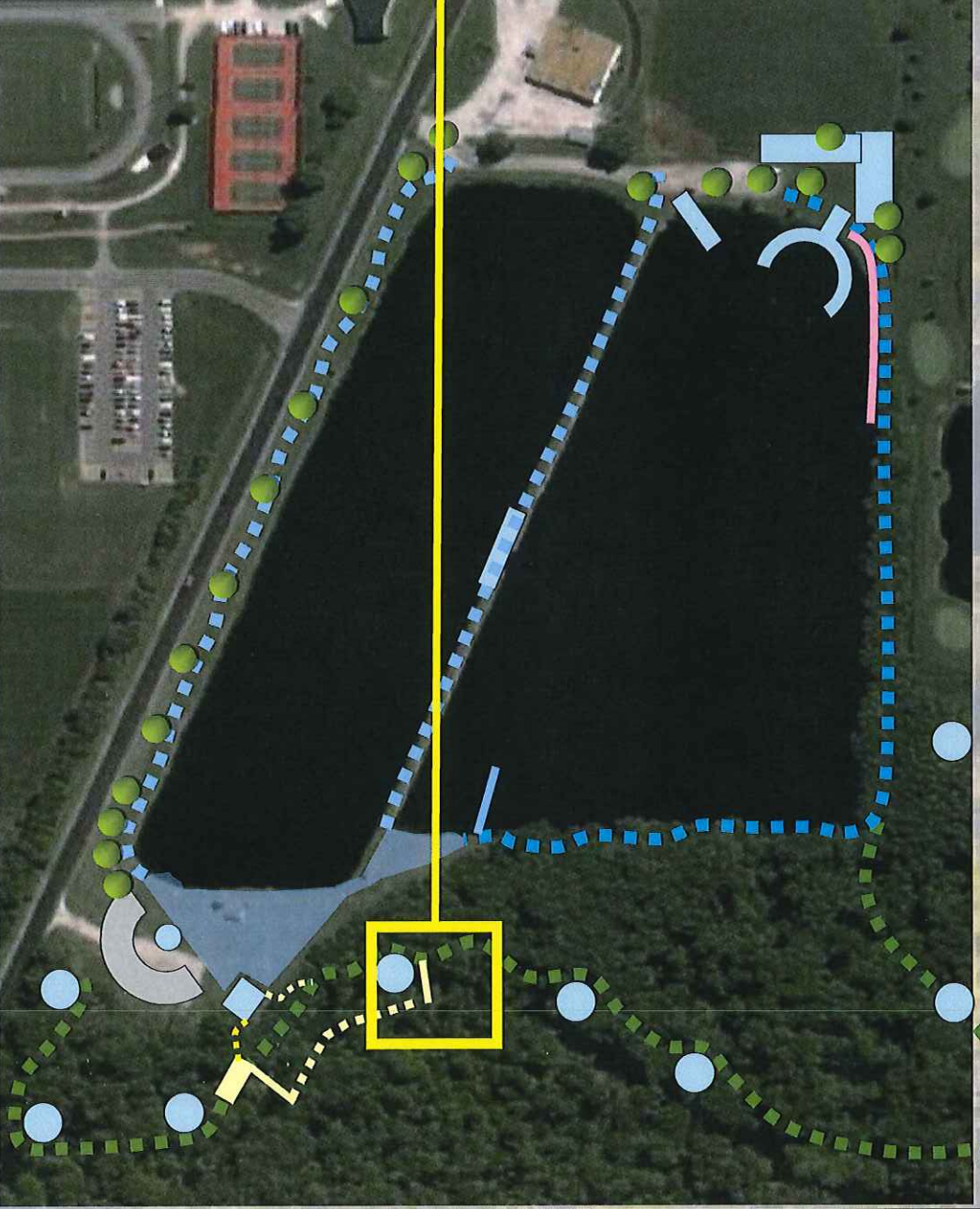
Vignettes

Walkways through woods

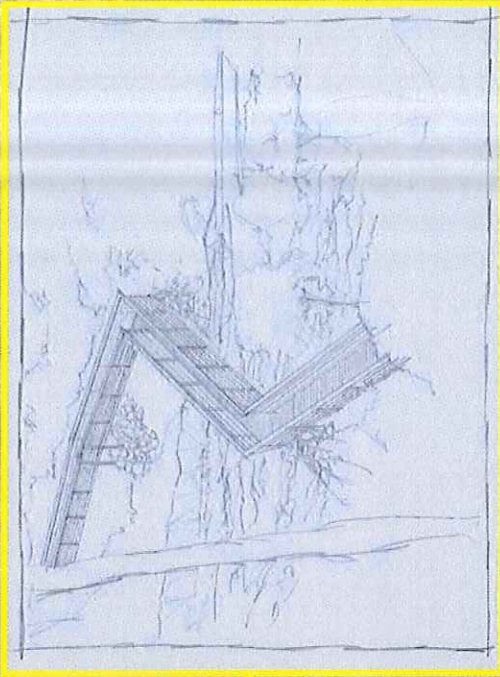
Options include

- Elevated treated lumber
- Bituminous paving
- Concrete Paving
- Lime dust

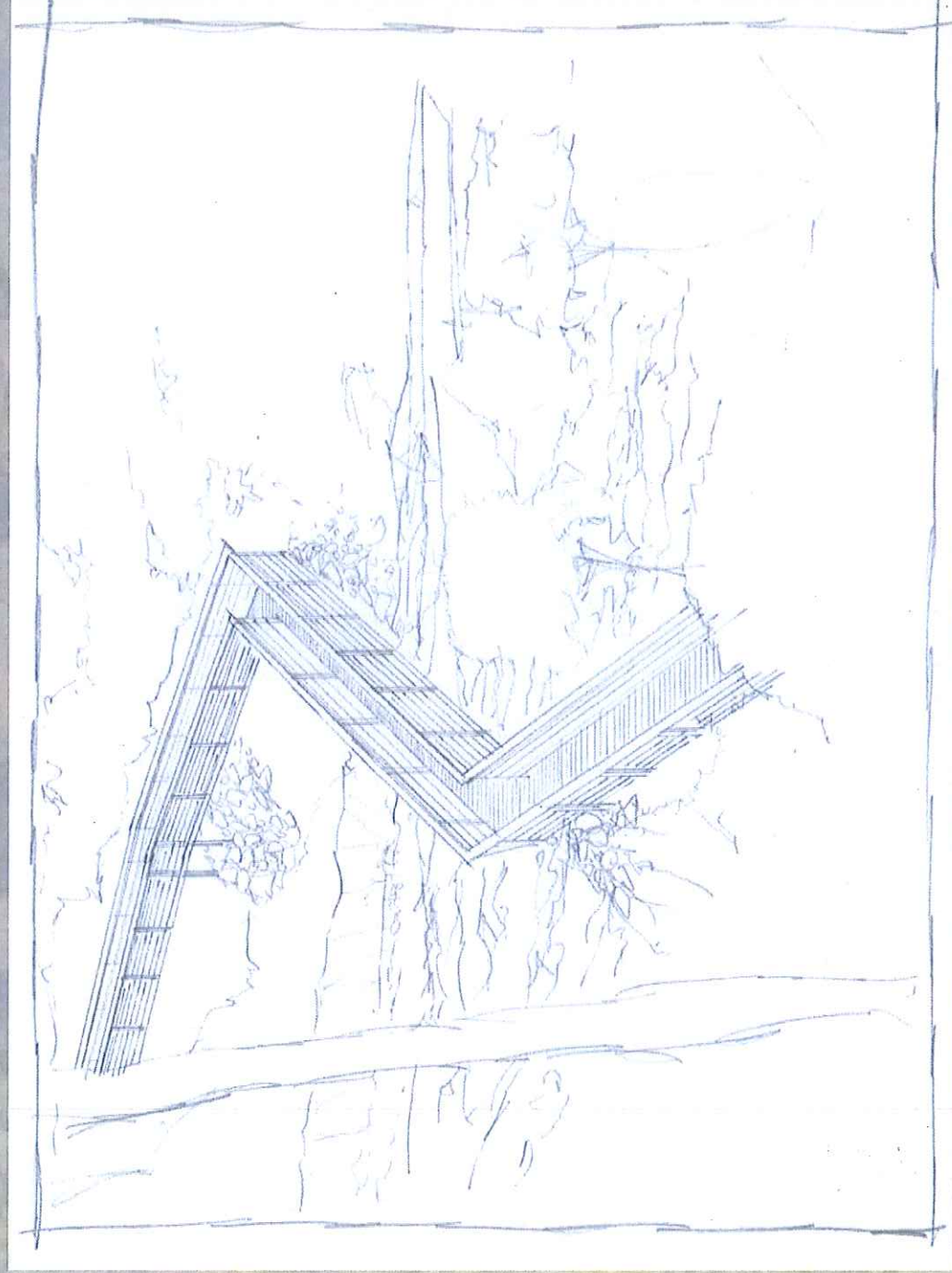




Construct new trails into Silver Creek woods to expand use and enjoyment of park



Some of the trails can be made more accessible to offer greater access to visitors with limited mobility



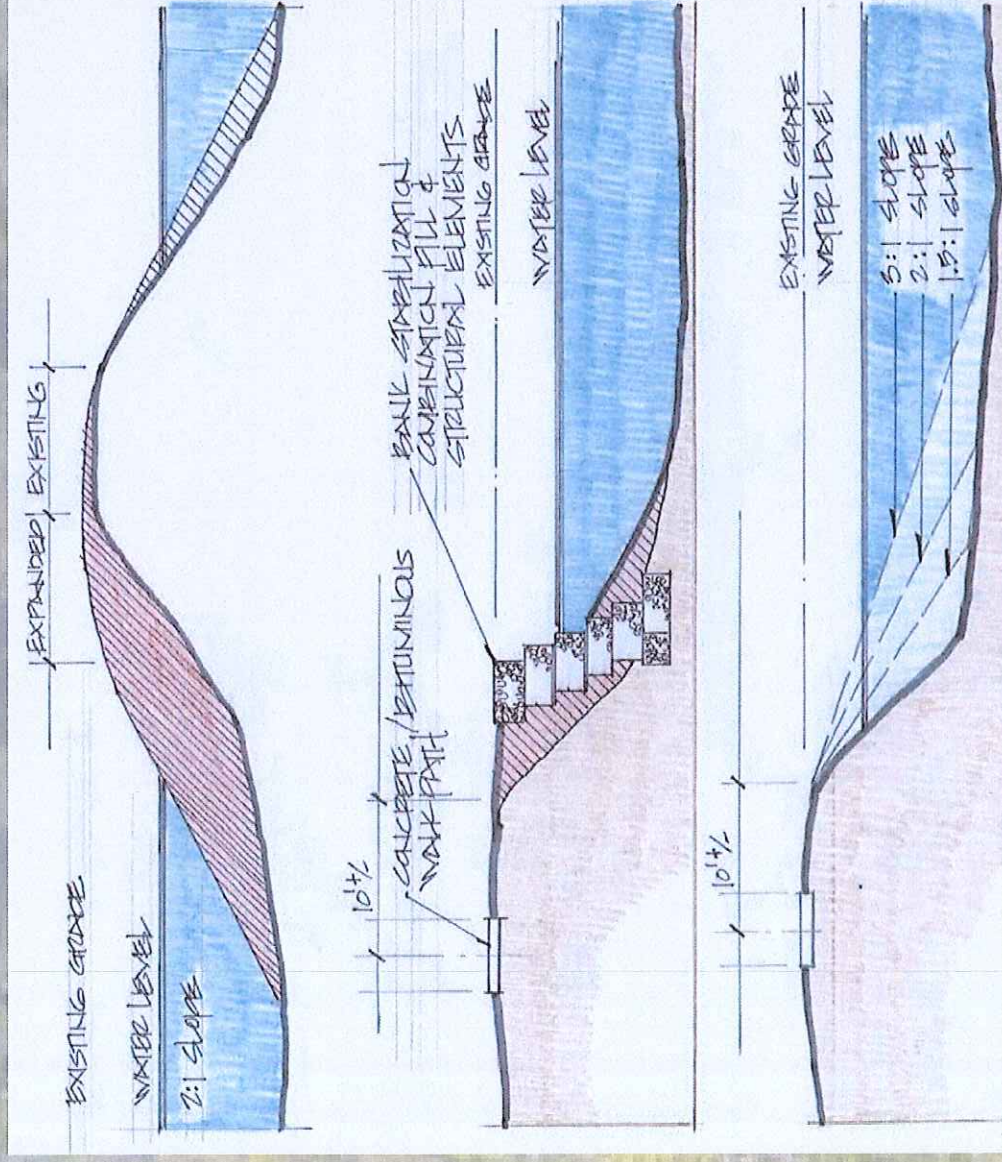
Vignettes

Crossing the creek can be a bridge elevated over the waterway or as simple as a walking stone path which is occasionally maintained as the waters interact and impact the pathway



City of Mascoutah, Illinois
Prairie Lake Park Master

EA/R
ASSOCIATES, INC.
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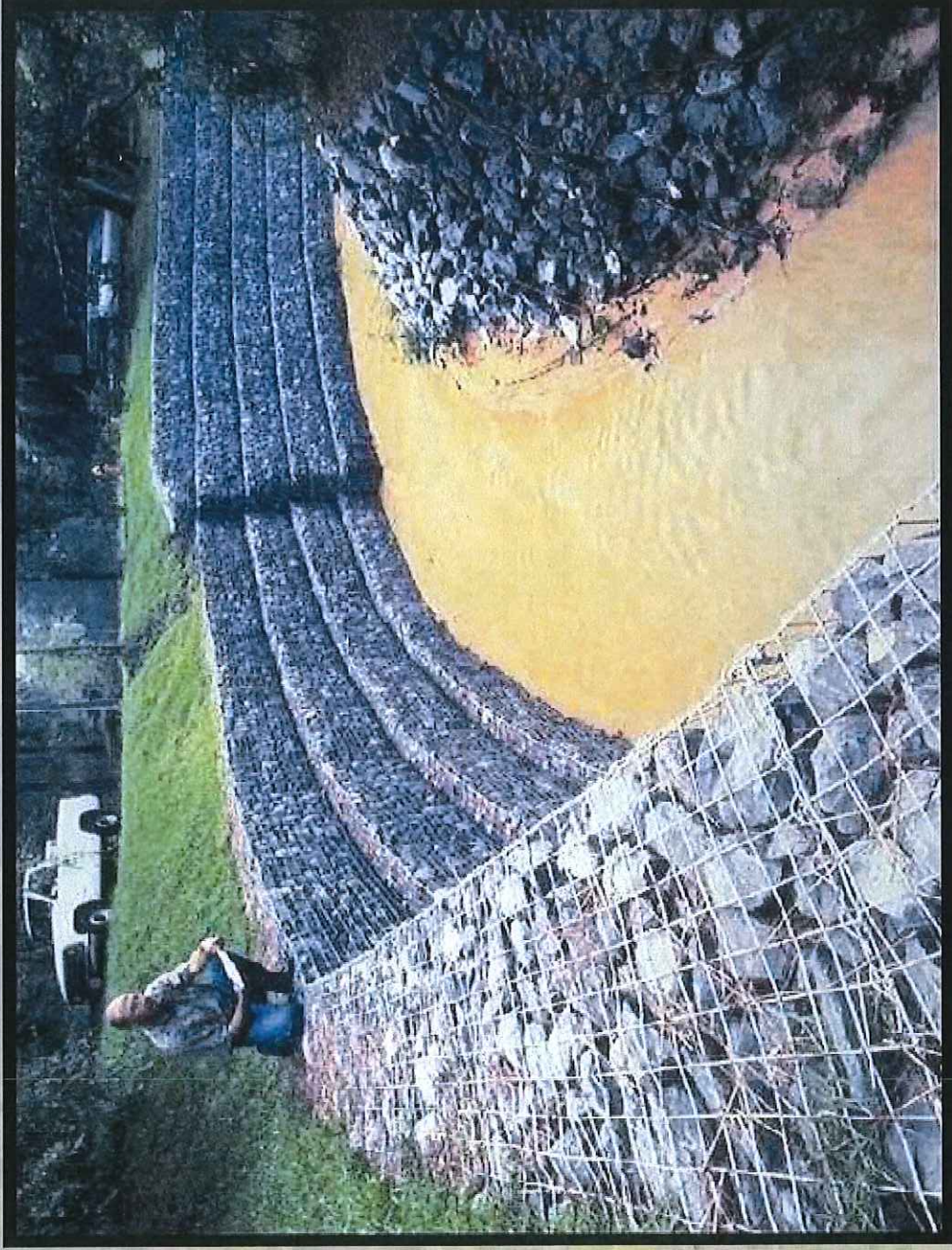
Potential Improvements at shore

Expansion of central divider between lakes

- Expansion to north or south side potential
- Expansion of top requires fill placed to raise crown for drainage and reduce slopes to lakes

Improvements of shore to reduce erosion could include

- Installation of gabion or similar structural system to retain earth and buffet action of water
- Slopes could also be reduced by addition of fill to reduce action of water at slope

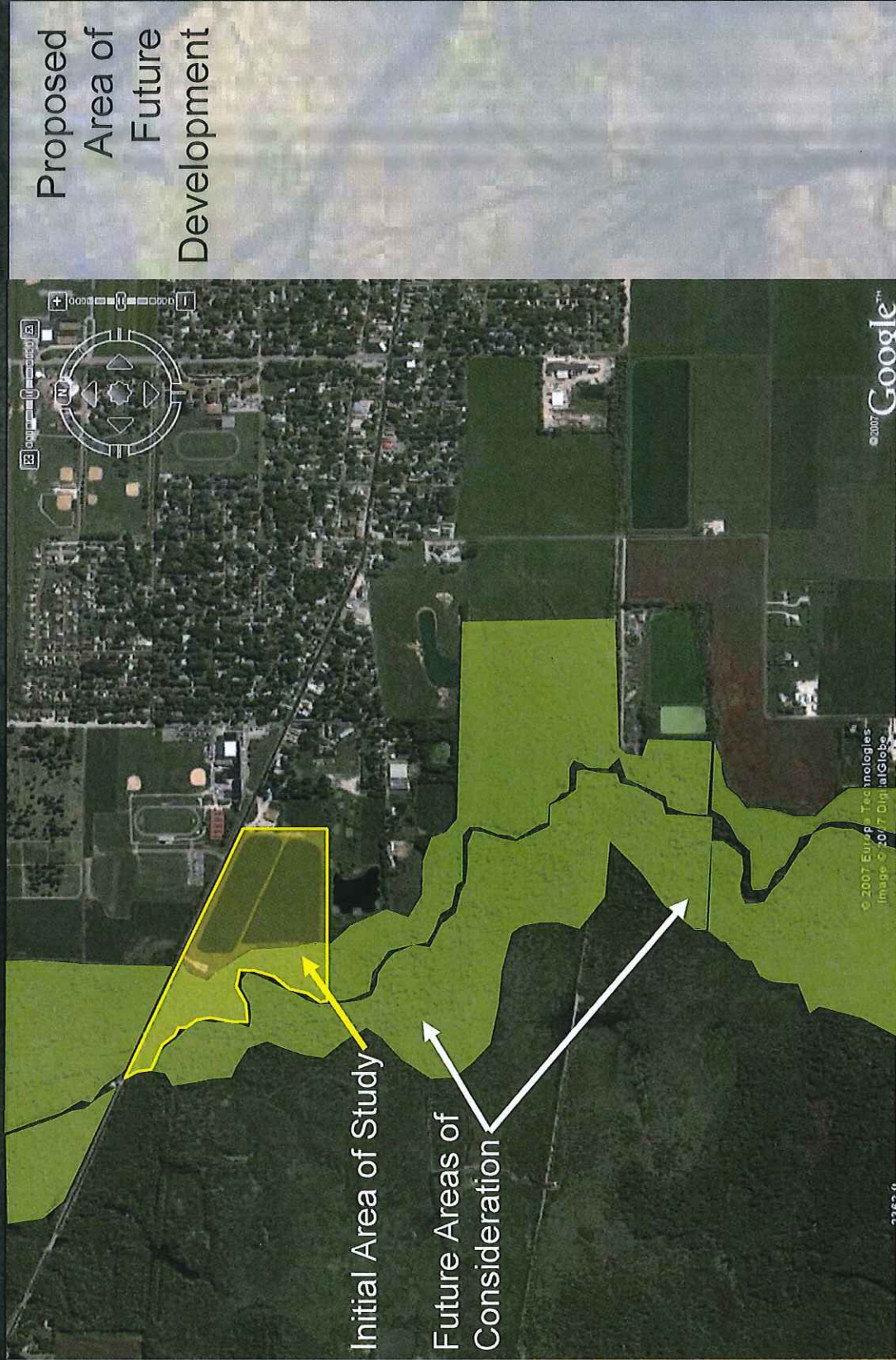


Potential strategy for shoreline stabilization

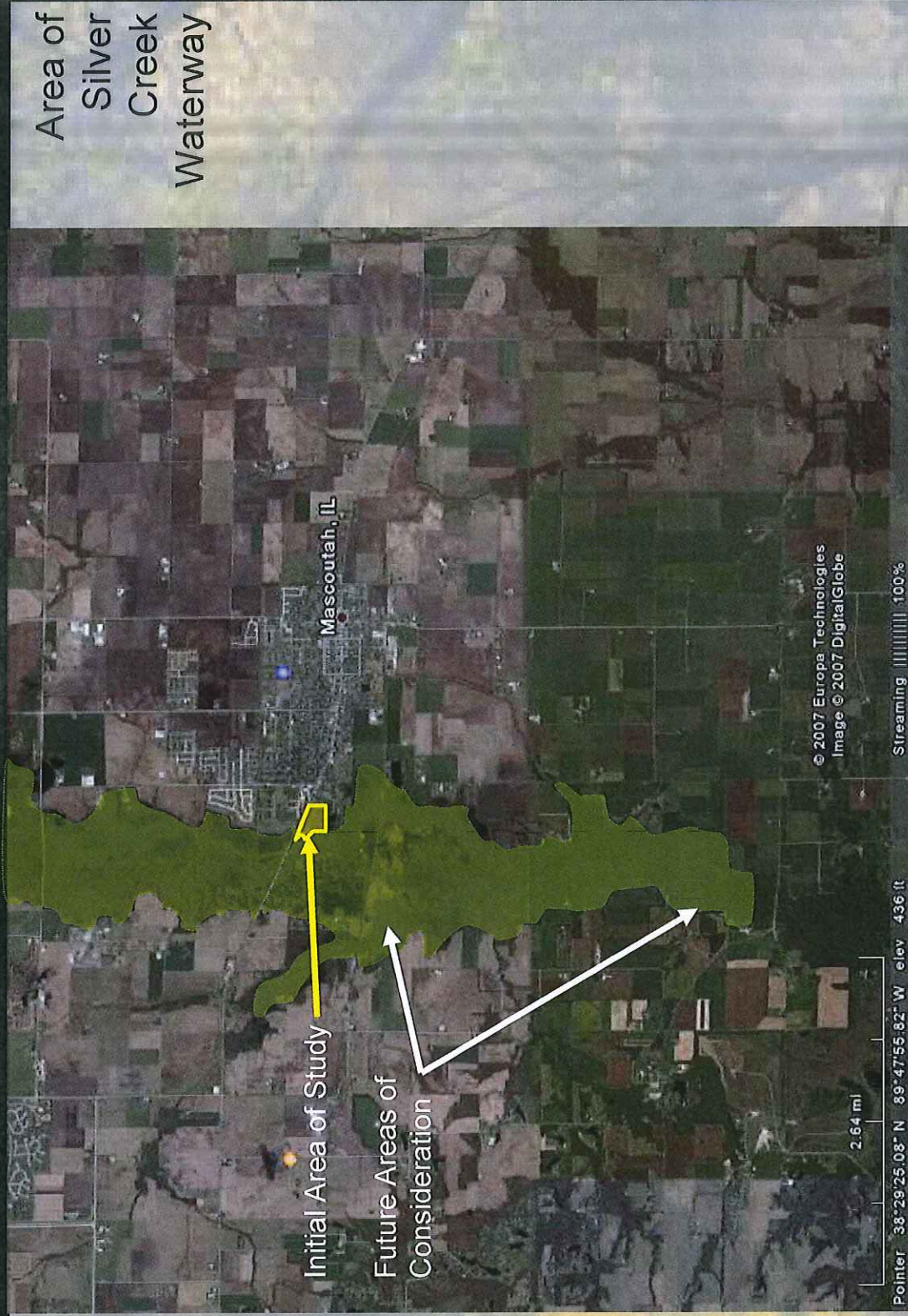
Gabion system

A gabion shoreline reinforcement system is a potential method to address shoreline maintenance. The system is comprised of wire containers filled on site with large riprap stone.

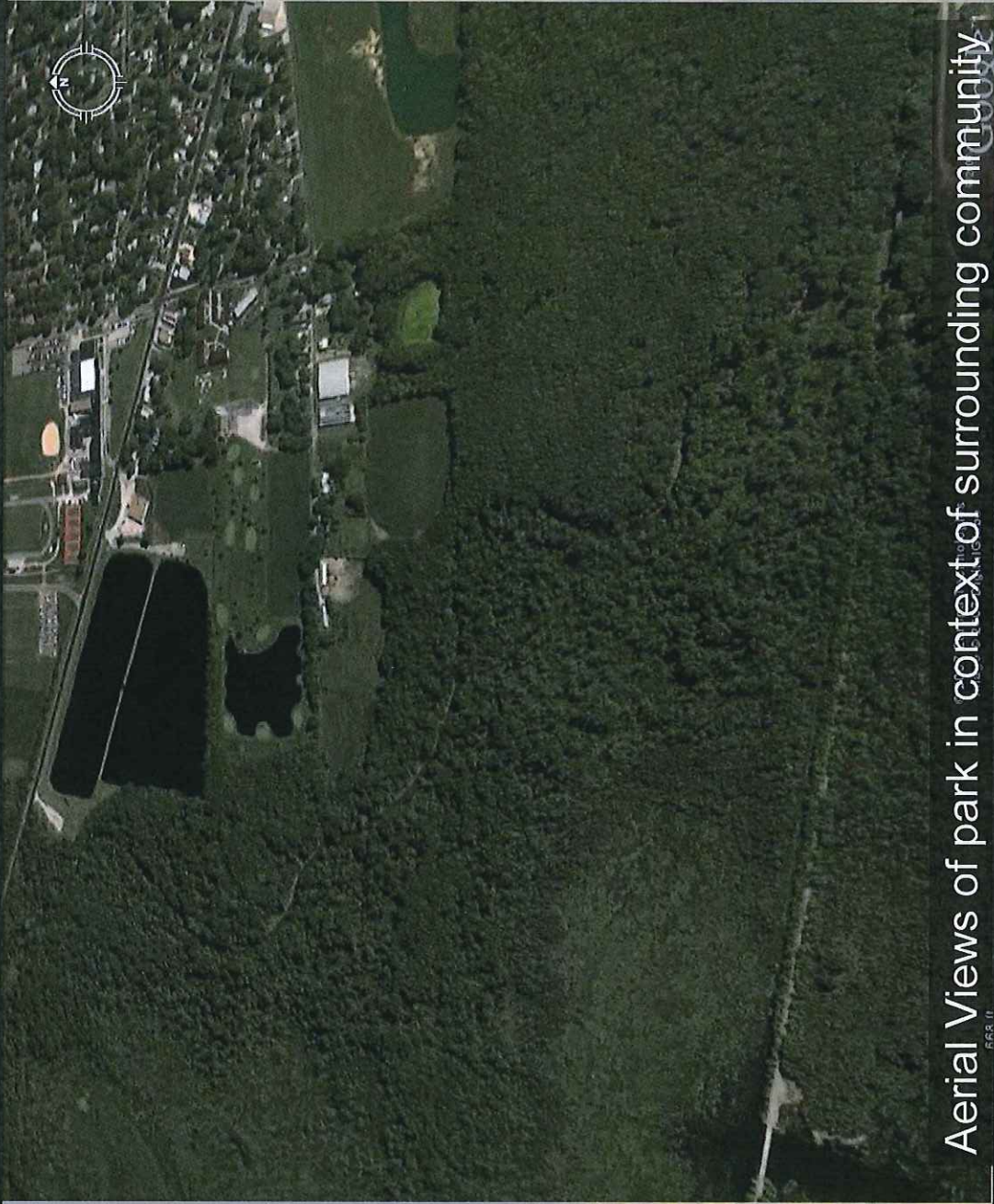
City of Mascoutah, Illinois
Prairie Lake Park Master



City of Mascoutah, Illinois Prairie Lake Park Master



City of Mascoutah, Illinois
Prairie Lake Park Master



Views of
Prairie Lake
Park Area
Looking North

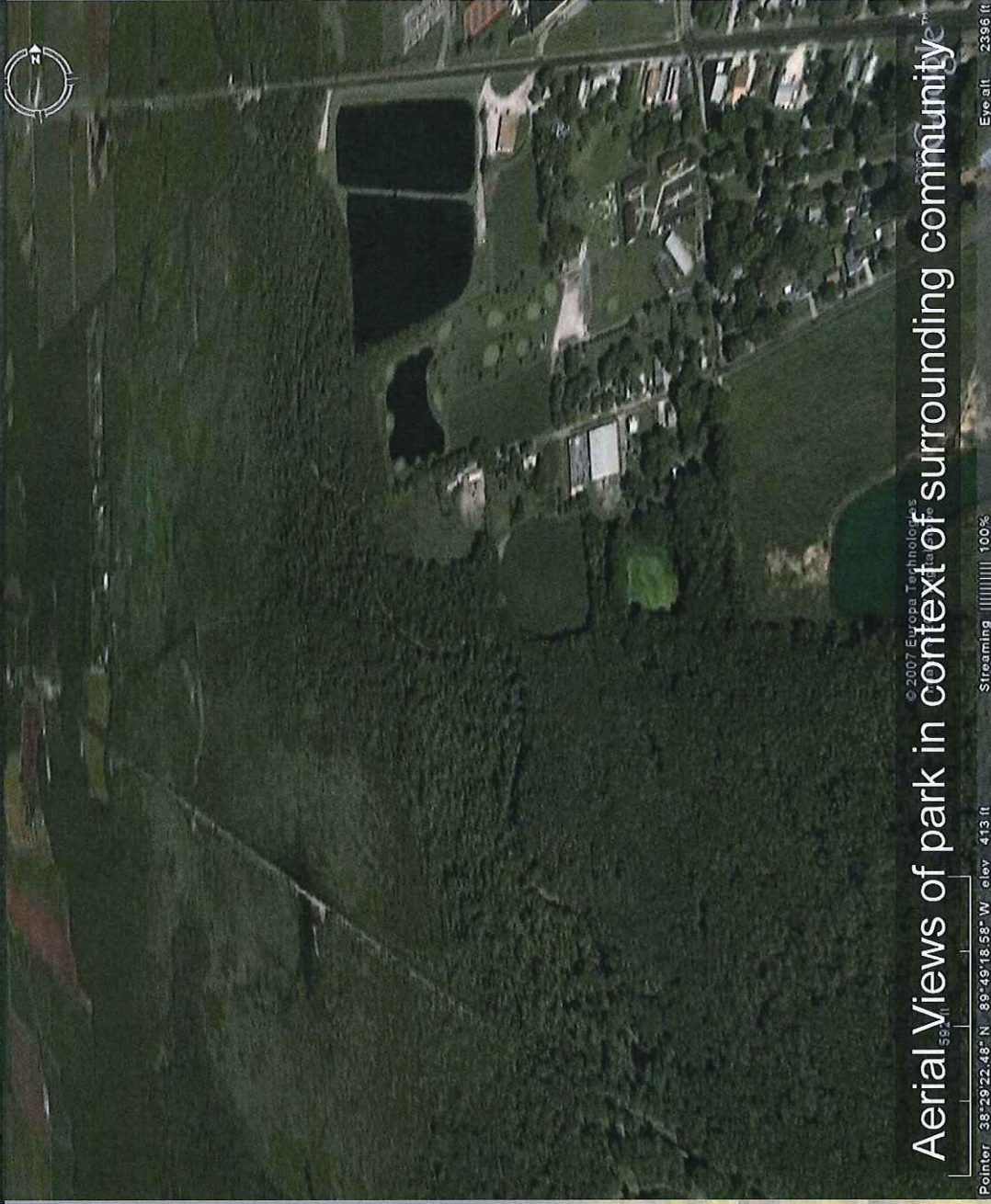
Aerial Views of park in context of surrounding community

City of Mascoutah, Illinois

Prairie Lake Park Master



Views of
Prairie Lake
Park Area
Looking West



Aerial Views of park in context of surrounding community

Pointer: 38°29'22.48"N, 89°49'18.58"W elev 413 ft | Streaming | 100% | Eye alt 2396 ft

City of Mascoutah, Illinois
Prairie Lake Park Master





Views of
Prairie Lake
Park Area
Looking South



Aerial Views of park in context of surrounding community™

Pointer 38°29'28.81"N 99°49'21.23"W elev 420 ft Streaming 100% Eye alt 282 ft

City of Mascoutah, Illinois
Prairie Lake Park Master





Aerial Views of park in context of surrounding community™

© 2007 Europa Technologies
 Pointer: 38°29'28.81"N 89°49'21.23"W elev 420 ft Streaming 100% Eye alt 3056 ft

Views of
 Prairie Lake
 Park Area
 Looking East

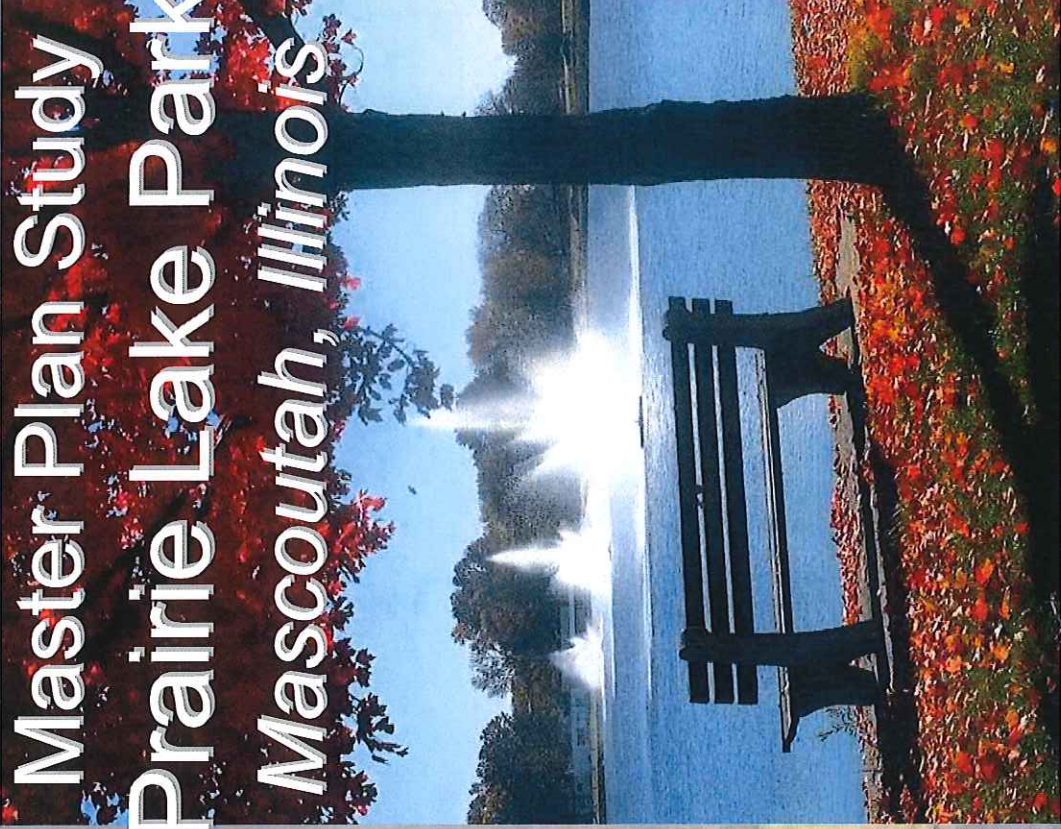
Prairie Lake
 park is the
 entrance to
 the city from
 the West.

The Park is
 close and
 accessible
 to the
 Mascoutah
 community

City of Mascoutah, Illinois
 Prairie Lake Park Master



Master Plan Study Prairie Lake Park *Mascoutah, Illinois*



City of Mascoutah, Illinois
Prairie Lake Park Master

RESOLUTION NO. 14-15-15

A RESOLUTION APPROVING THE 2015 PRAIRIE LAKE PARK
MASTER PLAN AMENDMENTS

WHEREAS, City staff and EWR Associates, Inc., professional consultants, developed amendments to the Prairie Lake Park Master Plan; and

WHEREAS, the purpose of the update is to better define the scope of the improvements planned for the redevelopment of Prairie Lake Park and to re-estimate the costs of the itemized project components; and

WHEREAS, on October 8, 2014, the Parks and Recreation Commission reviewed and recommended approval of the amendments to the Prairie Lake Park Master Plan; and

WHEREAS, on December 17, 2014, the Planning Commission reviewed the amendments to the Prairie Lake Park Master Plan and voted 6-ayes, 0-nays, to approve forwarding the Prairie Lake Park Master Plan to the City Council for consideration; and

WHEREAS, Prairie Lake Park Master Plan is a focused plan showing the vision of what the City desires the park to ultimately become and will be the basis of decisions for funding and proper phasing of facilities and improvements to the park over the next 5 to 25 years; and

WHEREAS, the Prairie Lake Park Master Plan will assist the City in proper placement of facilities within the park and scheduling future improvements to the park.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY
COUNCIL OF THE CITY OF MASCOUTAH, ST. CLAIR COUNTY, ILLINOIS AS
FOLLOWS:

SECTION 1: The City of Mascoutah approves the Prairie Lake Park Master Plan to assist the City with proper phasing of facilities and improvements to Prairie Lake Park.

PASSED and APPROVED by the Mascoutah Mayor and City Council this 5th day of
January, 2015.

Harold E. Daugherty
Mayor

ATTEST:

Dee D. Williams
City Clerk
(SEAL)

City of Mascoutah

RESOLUTION 08-09-02

A RESOLUTION ADOPTING A MASTER PLAN FOR PRAIRIE LAKE PARK

WHEREAS, the Parks and Recreation Commission, facilitated with City staff and EWR professional consultants, developed a Master Plan for Prairie Lake Park;

WHEREAS, the plan was developed over several months in open workshop style meetings within the Parks and Recreation Commission regular and special meetings, which were public meetings with required notice;

WHEREAS, the Parks and Recreation Commission conducted an Open House to seek community input, wherein participation included several local organizations and public agencies;

WHEREAS, on May 21, 2008, the Planning Commission held a public hearing and voted 6-yes, 0-no, to approve forwarding the Prairie Lake Park Master Plan to the City Council for consideration,

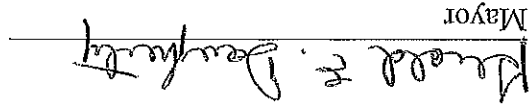
WHEREAS, Prairie Lake Park Master Plan is a focused plan showing the vision of what the City desires the park to ultimately become and will be the basis of decisions for funding and proper phasing of facilities and improvements to the park over the next 5 to 25 years; and,

WHEREAS, the Prairie Lake Park Master Plan will assist the City in proper placement of facilities within the park and scheduling future improvements to the park.

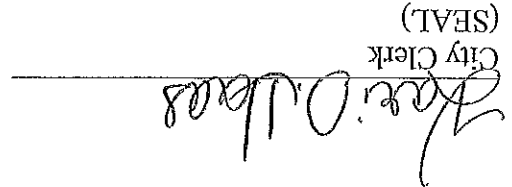
NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF MASCOUTAH:

That the City of Mascoutah approves the Prairie Lake Park Master Plan to assist the City with proper phasing of facilities and improvements to Prairie Lake Park.

ADOPTED and APPROVED by the Mayor and City Council of the City of Mascoutah this 2nd day of June, 2008, A.D.


Mayor

ATTEST:


City Clerk
(SEAL)